



COUNTY OF BECKER

Planning and Zoning

915 Lake Ave, Detroit Lakes, MN 56501

Phone: 218-846-7314 ~ Fax: 218-846-7266

PLANNING COMMISSION

NOTICE OF PUBLIC HEARING

****HEARING DATE AND LOCATION****

Tuesday, October 8th, 2019 @ 7:00 P.M.

3rd Floor Jury Assembly Room New Addition-Becker County Courthouse

Detroit Lakes, MN 56501

APPLICANT: JAMES J & NANCY L VAREBERG Project Location: 24959 Co Hwy 6, Detroit Lakes
PO BOX 434
WALKER MN 56484

APPLICATION AND DESCRIPTION OF PROJECT:

Request a Conditional Use Permit for an dog/cat grooming, pet daycare, and boarding.

LEGAL LAND DESCRIPTION: Tax ID number: 19.0076.000

5-138-41 PT GOVT LOT 6, PT E1/2 SE1/4, PT E1/2 SE1/4: BEG NE COR NE1/4 SE1/4, W 150.02', S 408.05', W 493.46', S 1222.49', E 132.43', S 1015', E 516.59', N 2640.01 TO POB. PT GOVT LOT 6 IN FRAC SE1/4 NE1/4 W OF LN: COMM E QTR COR SEC 5, W 947.32' TO POB; N 446.13', NELY 125.85' TO ST CLAIR LK AND TERM; Section 05 Township 138 Range 041

REFER TO BECKER COUNTY ZONING ORDINANCE

Replies/Comments: Interested parties are invited to submit to the Becker County Department of Planning, Zoning, and Land Use, written facts, arguments or objectives before the scheduled date of the Hearing. These statements should bear upon the suitability of the location and the adequacy of the Project and should suggest any appropriate changes believed to be desirable. Replies may be addressed to:

PLANNING AND ZONING DEPARTMENT

915 Lake Avenue
Detroit Lakes, MN. 56501

FAX Number 218-846-7266
EMAIL: zoning@co.becker.mn.us

If you have questions about the Project, feel free to call 218-846-7314.

Jurisdiction: This Project comes under the Regulatory Jurisdiction of the Becker County Zoning Laws.

Regulatory Authority: This Application will be reviewed according to the provisions of the Becker County Zoning Ordinance. The decision whether to issue a Permit will be based on an evaluation of the probable impact including cumulative impacts, of the proposed activity. That decision will reflect the concern for both protection and utilization of important resources. All factors, which may be relevant to the proposal, will be considered including the cumulative effects: Land Use, Shoreline Protection, Water Supply and Conservation, Safety, Economics, in General, the Needs and Welfare of the People.

**** Weather conditions may change the Hearing date and time. If bad weather occurs, please listen to the local Detroit Lakes Radio Stations or contact the Zoning Office, by 4:30 PM on day of Hearing, for possible rescheduling of the Hearing.**

Conditional Use Application Review

Permit # CUP2019-2

Property and Owner Review

Owner: JAMES J & NANCY L VAREBERG	Parcel Number(s): 190076000
Mailing Address: JAMES J & NANCY L VAREBERG PO BOX 434 WALKER MN 56484	Site Address: 24959 CO HWY 6
	Township-S/T/R: LAKE VIEW-05/138/041
	Shoreland? Yes Name: St. Clair (Lake View & Detroit) [NE Tier 2]

Legal Descr: **5-138-41 PT GOVT LOT 6, PT E1/2 SE1/4. PT E1/2 SE1/4: BEG NE COR NE1/4 SE1/4, W 150.02', S 408.05', W 493.46', S 1222.49', E 132.43', S 1015', E 516.59', N 2640.01 TO POB. PT GOVT LOT 6 IN FRAC SE1/4 NE1/4 W OF LN: COMM E QTR COR SEC 5, W 947.32' TO POB; N 446.13', NELY 125.85' TO ST CLAIR LK AND TERM.**

Conditional Use Details Review

Description of Conditional Use Request: **Dog/Cat Grooming, Pet Daycare, and Boarding**

1. Describe how the conditional use permit, if granted, will not harm the use and enjoyment of other properties in the immediate vicinity for the purposes already permitted, nor substantially diminish or impair property values within the immediate vicinity.

This will be a well-built and professionally maintained facility. We will always be respectful towards our neighbors, the surrounding area, and our City.

2. Describe how establishing the conditional use will not impede the normal, orderly development and improvement of surrounding vacant property for uses predominant in the area.

N/A

3. Describe how adequate utilities, access roads, drainage and other necessary facilities have been or are being provided.

We will have proper access to our facility and will be professionally designed to blend in with our surrounding area.

4. Describe how adequate measures have been or will be taken to provide sufficient off-street parking and loading space to serve the proposed use.

We will have a small parking lot out front of our store with 10-15 parking spots for guests and employees.

5. Describe how adequate measures have been or will be taken to prevent or control offensive odor, fumes, dust, noise and vibration, so none of these will constitute a nuisance, and to control lighted signs and other lights so that no disturbance to neighboring properties will result.

We will not be a nuisance as we won't really have neighbors who are near as this property is 6 acres. We will be a well-maintained facility.

Additional shoreland questions below (if applicable)

6a. Describe how adequate measures have been or will be taken to assure that soil erosion or other possible pollution of public waters will be prevented, both during and after construction.

N/A. We will follow all building codes per what is mandated of us.

6b. What measures have been taken to assure that the visibility of structures and other facilities as viewed from public waters will be limited.

N/A. The lot is near St. Clair, but our facility won't be near the water and St. Clair Lake is not utilized by the public.

6c. What measures have been taken to assure that the site is adequate for water supply and on-site sewage treatment.

All utilities will be professionally installed and to code.

6d. Describe how the types, uses and number of watercrafts that the project will generate can be safely accommodated.

N/A

Business Plan Review

Name of Business: **Muttley's, Inc**

Business Owners: Erin Foley, Melissa Hanson, Keely Steele
Business Type: Service If 'Other', explain:
Type of Merchandise: Retail area for canine needs. (dog toys, collars, leashes, etc.)
Type of Service: dog daycare, boarding and grooming.
Hours and Days of Operation: 24/7
Number of Employees: 3-5
Off-Street Parking Plan: 10-15 spaces
Size of structure to be used for Business: Approx. 3,000 sq ft
New or Existing: New Structure
Signage Plan: Professionally designed sign for the store front and near the road.
Exterior Lighting Plan: Reasonable lighting for safety & security purposes.
Known Environmental Hazards: No.
Additional Business Plan Information: Professionally managed and maintained to serve the growing communities needs & for family dogs in our area & surrounding area. We will offer grooming, dog daycare, and dog boarding. This will be a very structured and eye-pleasing facility for our customers and community.



DEANNA #5 850-6547



~ CONDITIONAL USE APPLICATION ~

BECKER COUNTY PLANNING & ZONING

915 LAKE AVENUE, DETROIT LAKES, MN 56501
PHONE (218) 846-7314 - FAX (218) 846-7266

PARCEL	
APP	CUP
YEAR	
SCANNED	

PROPERTY OWNER INFORMATION (as it appears on tax statement, purchase agreement or deed)

Are you the property owner or the Authorized Agent? Owner Authorized Agent

*Authorized Agents must attach a completed Authorized Agent Form

Parcel number(s) of property: 190076000

Property Owner Name(s): JAMES + NANCY VAREBERG

Mailing Address: PO BOX 434 City, State, Zip WALKER, MN 56484

*Phone Number(s): _____ *Owner Email Address _____

Project Address: TBD CTN #6 City, State, Zip DETROIT LAKES

Watershed Management District: Pelican Cormorant Other

Township Name: LAKE VIEW Sect - Twp - Range: 05 - 138 - 041

Legal Description: PART OF GOUT. LOT 6 SEE FULL LEGAL CTY WEBSITE

Property Size 6.8 ACRES +/- Is there a pond or wetland on the property? Yes No ST. CLAIR LK

Is any part of the property within 1,000 feet of a like lake or within 300 feet of a river/stream? Yes No

REASON FOR CONDITIONAL USE REQUEST:

APPROX 3000 SQ FT DOG-BAT GROOMING, PET + NAYCARE AND BOARDING

The information provided for this document is truthful and accurate to the best of my knowledge. I understand that this statement is null and void if any of the above information is not supplied or is inaccurate.

Kelley Steele, Co-owner
SIGNATURE OF APPLICANT

9/8/19
DATE

OTHER INFORMATION NEEDED TO COMPLETE THE APPLICATION:

1. A copy of the deed from the Recorder's Office;
2. Completed Site Application with sketch showing all setbacks, platted or surveyed dimensions of the lot and all existing and proposed buildings; parking area and all other materials deemed necessary.
3. Is the request in relation to some sort of business endeavor or commercial activity (home business, campground) Yes No
4. Non-refundable filing fee of \$280 (\$380.00 if Commercial). If in Cormorant Township add \$25.00 surcharge to the filing fee. Make check payable to Becker County Zoning. A second check to record the document of \$46 made payable to Becker County Recorder.
5. Is the conditional use permit request after the fact? Is the request in the application already in place or operation? Yes No
If yes, after the fact application fee is an additional \$600.00.

Office Use Only
This application is hereby (accepted) or (rejected) as presented.

SIGNATURE - ZONING ADMINISTRATOR

DATE

PARCEL	
APP	CUP
YEAR	

BUSINESS PLAN

Name of Business: Muttley's, Inc.

Business Owners: Erin Foley, Melissa Hanson + Keely Steele

Owners of Business: Erin Foley, Melissa Hanson + Keely Steele

Type of Business: Retail Sales Service Other

If other type of business please describe: n/a

Type of Merchandise: retail area for canine needs (i.e. dog toys, collars, leashes, etc...)

Type of Service: Dog daycare, boarding, and grooming

Hours and Days of Operation: 24/7

Number of Employees: 3-5

Off-street Parking Plan: n/a

Size of Structure to be used for Business: Approximately 3,000 sq. ft.

New Structure: X Existing Structure: _____

Signage Plan: professionally designed sign for the store-front + road ^{near}

Exterior Lighting Plan: reasonable lighting for safety + security purposes.

Any known Environmental Hazards: [] Yes [X] No

If yes please Explain: n/a

Any Additional Business Plan Information: professionally managed and maintained to serve the growing communities' needs + for family dogs in our area + surrounding area. We will offer grooming, dog daycare and dog boarding. This will be a very structured and eye-pleasing facility for our customers and community.

Please answer the following questions as they relate to your specific CUP request:

1. **Effect on surrounding property.** That the conditional use will not harm the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish or impair property values within the immediate vicinity.

This will be a well-built and professionally maintained facility. We will always be respectful towards our neighbors, the surrounding area, and our city.

2. **Effect on orderly, consistent development.** That establishing the conditional use will not impede the normal, orderly development and improvement of surrounding vacant property for uses predominant in the area.

N/A

3. **Adequate facilities.** That adequate utilities, access roads, drainage and other necessary facilities have been or are being provided.

We will have proper access to our facility and will be professionally designed to blend in with our surrounding area.

4. **Adequate parking.** That adequate measures have been or will be taken to provide sufficient off-street parking and loading space to serve the proposed use.

We will have a small parking lot out front of our store with 10-15 parking spots for guests and employees.

5. **Not a nuisance.** That adequate measures have been or will be taken to prevent or control offensive odor, fumes, dust, noise and vibration, so none of these will constitute a nuisance, and to control lighted signs and other lights so that no disturbance to neighboring properties will result.

We will not be a nuisance as we won't really have neighbors who are near as this property is 6 acres. We will be a well-maintained facility.

6. **Additional criteria for shoreland areas.** In Shoreland areas, it shall be found that adequate measures have been or will be taken to assure that:

- a. **Pollution.** Soil erosion or other possible pollution of public waters will be prevented, both during and after construction;

N/A We will follow all building codes per what is mandated of us.

- b. **View from public waters.** That the visibility of structures and other facilities as viewed from public waters will be limited;

N/A the lot is near St. Clair, but our facility won't be near the water and St. Clair Lake is not utilized by the public.

- c. **Adequate utilities.** That the site is adequate for water supply and on-site sewage treatment; and

All utilities will be professionally installed and to code.

- d. **Watercraft.** That the types, uses, and number of watercrafts that the project will generate can be safely accommodated.

N/A



These data are provided on an "AS-IS" basis, without warranty of any type, expressed or implied, including but not limited to any warranty as to their performance, merchantability, or fitness for any particular purpose.

Mutley's

1:2,257

Date: 9/8/2019



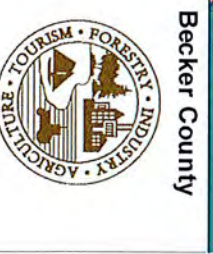


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1:18,056

This map is not a substitute for accurate field surveys or for locating actual property lines and any adjacent features.

Date: 9/12/2019





Phone: 218-983-3241 • Fax: 218-983-3243
516 Main Street
Ogema, MN 56569

Construction Loans • Lot Purchase
Ag Loans • Commercial Loans
Home Finance

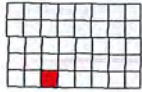
comdevbank.com



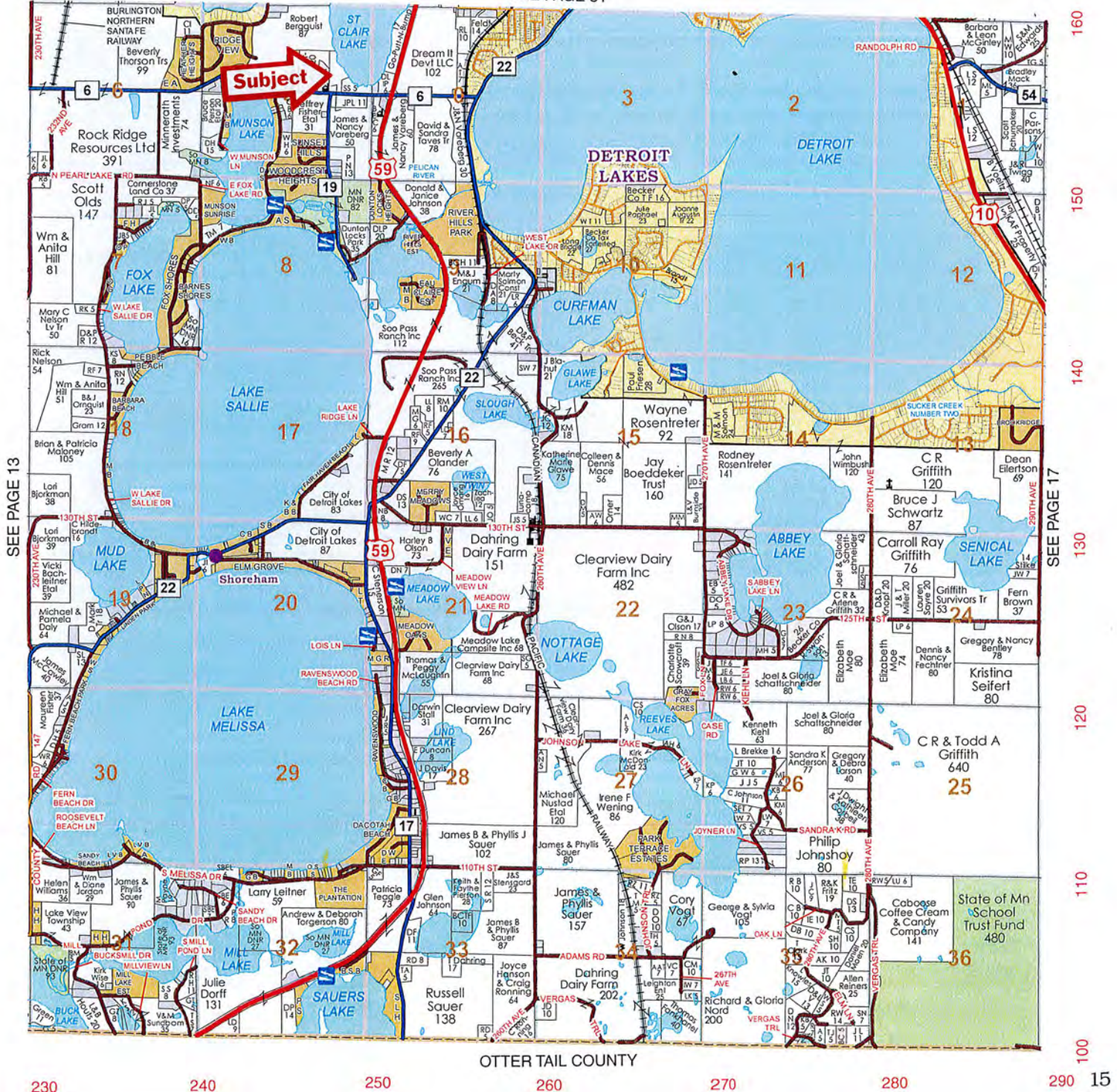
Lake View

Township 138N - Range 41W

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SEE PAGE 31





COUNTY OF BECKER

Planning and Zoning

915 Lake Ave, Detroit Lakes, MN 56501

Phone: 218-846-7314 ~ Fax: 218-846-7266

PLANNING COMMISSION NOTICE OF PUBLIC HEARING

****HEARING DATE AND LOCATION****

Tuesday, October 8th, 2019 @ 7:00 P.M.

3rd Floor Jury Assembly Room New Addition-Becker County Courthouse
Detroit Lakes, MN 56501

APPLICANT: SETH MARLETT ET AL Project Location: 29374 580TH AVE, PARK RAPIDS
29374 580TH AVE
PARK RAPIDS MN 56470

APPLICATION AND DESCRIPTION OF PROJECT:

Request a Conditional Use Permit for an online consignment auction and used car dealership.

LEGAL LAND DESCRIPTION: Tax ID number: 34.0133.000

N 951' OF E 917' OF NE1/4 OF SE1/4; Section 25 Township 141 Range 036, Two Inlets Township.

REFER TO BECKER COUNTY ZONING ORDINANCE

Replies/Comments: Interested parties are invited to submit to the Becker County Department of Planning, Zoning, and Land Use, written facts, arguments or objectives before the scheduled date of the Hearing. These statements should bear upon the suitability of the location and the adequacy of the Project and should suggest any appropriate changes believed to be desirable. Replies may be addressed to:

PLANNING AND ZONING DEPARTMENT
915 Lake Avenue
Detroit Lakes, MN. 56501

FAX Number 218-846-7266
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If you have questions about the Project, feel free to call 218-846-7314.

Jurisdiction: This Project comes under the Regulatory Jurisdiction of the Becker County Zoning Laws.

Regulatory Authority: This Application will be reviewed according to the provisions of the Becker County Zoning Ordinance. The decision whether to issue a Permit will be based on an evaluation of the probable impact including cumulative impacts, of the proposed activity. That decision will reflect the concern for both protection and utilization of important resources. All factors, which may be relevant to the proposal, will be considered including the cumulative effects: Land Use, Shoreline Protection, Water Supply and Conservation, Safety, Economics, in General, the Needs and Welfare of the People.

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~ CONDITIONAL USE APPLICATION ~
BECKER COUNTY PLANNING & ZONING

PARCEL	
APP	CUP
YEAR	
SCANNED	

915 LAKE AVENUE, DETROIT LAKES, MN 56501
PHONE (218) 846-7314 - FAX (218) 846-7266

PROPERTY OWNER INFORMATION (as it appears on tax statement, purchase agreement or deed)

Are you the property owner or the Authorized Agent? Owner Authorized Agent

*Authorized Agents **must** attach a completed Authorized Agent Form

Parcel number(s) of property: 34.0133.000

Property Owner Name(s): Whitney Marlett, Seth Marlett, Scudora Marlett

Mailing Address: 29374 580th Ave City, State, Zip Park Rapids, MN, 56470

Phone Number(s): 320-266-1536 Owner Email Address wm_567@hotmail.com

Project Address: 29374 580th Ave City, State, Zip Park Rapids, MN 56470

Watershed Management District: _____ Pelican _____ Cormorant _____ Other

Township Name: Two Inlets Sect - Twp - Range: 25 - 141 - 036

Legal Description: N 951' OF E 917' OF NE 1/4 OF SE 1/4

Property Size 20 Acres Is there a pond or wetland on the property? Yes No

Is any part of the property within 1,000 feet of a like lake or within 300 feet of a river/stream? Yes No

REASON FOR CONDITIONAL USE REQUEST:

I am moving our established existing business from the city of Park Rapids to our residence in Becker county. We have a better storage facility and area to serve our consignors + buyers better and more efficiently.

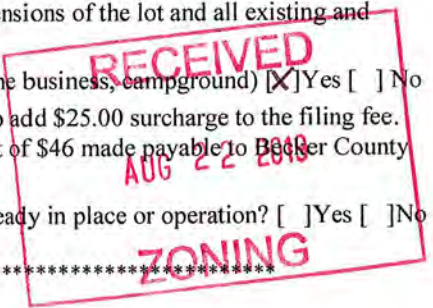
The information provided for this document is truthful and accurate to the best of my knowledge. I understand that this statement is null and void if any of the above information is not supplied or is inaccurate.

[Signature]
SIGNATURE OF APPLICANT

8/22/19
DATE

OTHER INFORMATION NEEDED TO COMPLETE THE APPLICATION:

1. A copy of the deed from the Recorder's Office;
2. Completed Site Application with sketch showing all setbacks, platted or surveyed dimensions of the lot and all existing and proposed buildings; parking area and all other materials deemed necessary.
3. Is the request in relation to some sort of business endeavor or commercial activity (home business, campground) Yes No
4. Non-refundable filing fee of \$280 (\$380.00 if Commercial). If in Cormorant Township add \$25.00 surcharge to the filing fee. Make check payable to Becker County Zoning. A second check to record the document of \$46 made payable to Becker County Recorder.
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Office Use Only
This application is hereby (accepted) or (rejected) as presented.

SIGNATURE - ZONING ADMINISTRATOR DATE

Please answer the following questions as they relate to your specific CUP request:

1. **Effect on surrounding property.** That the conditional use will not harm the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish or impair property values within the immediate vicinity.

will not have a negative impact,

2. **Effect on orderly, consistent development.** That establishing the conditional use will not impede the normal, orderly development and improvement of surrounding vacant property for uses predominant in the area.

will have no effect

3. **Adequate facilities.** That adequate utilities, access roads, drainage and other necessary facilities have been or are being provided.

yes

4. **Adequate parking.** That adequate measures have been or will be taken to provide sufficient off-street parking and loading space to serve the proposed use.

yes

5. **Not a nuisance.** That adequate measures have been or will be taken to prevent or control offensive odor, fumes, dust, noise and vibration, so none of these will constitute a nuisance, and to control lighted signs and other lights so that no disturbance to neighboring properties will result.

will not be a nuisance

6. **Additional criteria for shoreland areas.** In Shoreland areas, it shall be found that adequate measures have been or will be taken to assure that:

- a. **Pollution.** Soil erosion or other possible pollution of public waters will be prevented, both during and after construction;

NA

- b. **View from public waters.** That the visibility of structures and other facilities as viewed from public waters will be limited;

NA

- c. **Adequate utilities.** That the site is adequate for water supply and on-site sewage treatment; and

NA

- d. **Watercraft.** That the types, uses, and number of watercrafts that the project will generate can be safely accommodated.

NA

PARCEL	
APP	CUP
YEAR	

BUSINESS PLAN

Name of Business: Trinity Auction Company

Business Owners: Whitney Marlett, Seth Marlett

Owners of Business: _____

Type of Business: Retail Sales Service Other

If other type of business please describe: Online consignment Auction + USED Car Dealer

Type of Merchandise: used goods used vehicles

Type of Service: Consignment and sales

Hours and Days of Operation: Monday thru Friday 9am to 5pm

Number of Employees: Will be family members only

Off – street Parking Plan: 30' x 40' Gravel area located south end of building

Size of Structure to be used for Business: 32' x 48'

New Structure: _____ Existing Structure: yes

Signage Plan: 5' x 3' and 2' x 8' Attached to existing structure

Exterior Lighting Plan: dot & all down security lighting on building

Any known Environmental Hazards: [] Yes No

If yes please Explain: _____

Any Additional Business Plan Information: Move my existing business to have more space and storage.

Garage

Barn

48

32

Office Area

Building to be used for business

Parking Area

40

30

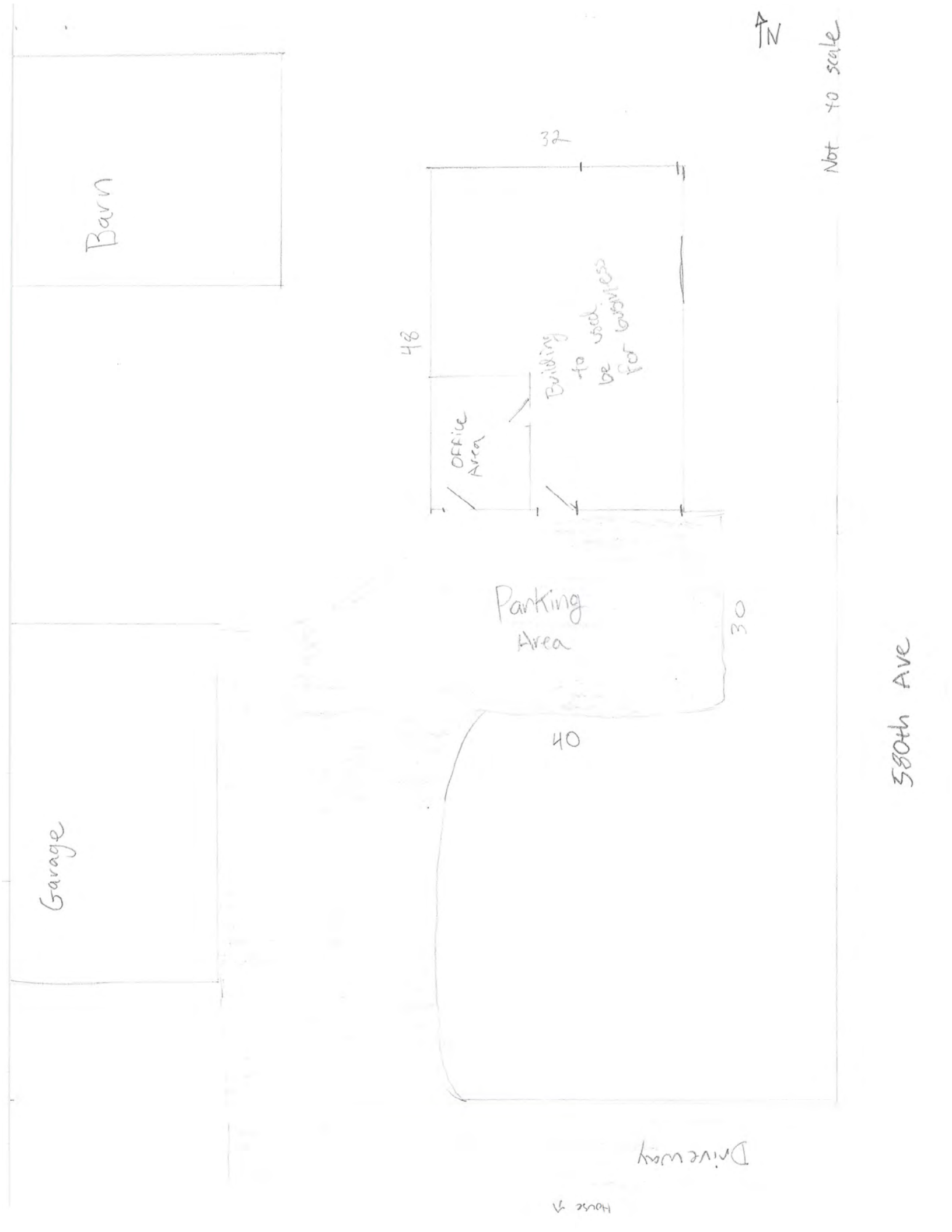
Driveway

House ↗

↑ N

Not to scale

580th Ave



586661

BECKER COUNTY RECORDER
STATE OF MINNESOTA

Document No. 586661

March 4, 2011 at 2:06 PM
I hereby certify that the within
instrument was recorded in this office.
Darlene Maneval, County Recorder
By SKS Deputy

CERTIFICATE OF REAL ESTATE VALUE FILED. # 7084

No delinquent taxes and transfer entered
this 4th day of March, 2011

Ryan S. Mangen
Becker County Auditor/Treasurer

By Jim Deputy
34-0133-000

(Top 3 inches reserved for recording data)

WARRANTY DEED
Business Entity to Joint Tenants

Minnesota Uniform Conveyancing Blanks
Form 10.1.11 (2011)

DEED TAX DUE: \$ 237.30

DATE: March 1, 2011
(month/day/year)

FOR VALUABLE CONSIDERATION, State Bank of Park Rapids
(insert name of Grantor)
a corporation under the laws of Minnesota ("Grantor"),
hereby conveys and warrants to Seth Marlett, Sandra S. Marlett, and Whitney Marlett
(insert name of each Grantee)

Becker County, Minnesota, legally described as follows:
The North 951 feet of the East 917 feet of the Northeast Quarter of the Southeast Quarter (NE 1/4 SE 1/4) of Section Twenty-five (25), Township One Hundred Forty-one (141) North, Range Thirty-six (36) West of the Fifth Principal Meridian in Becker County.

Check here if all or part of the described real property is Registered (Torrens)

together with all hereditaments and appurtenances belonging thereto, subject to the following exceptions:
None.

Check applicable box:

- The Seller certifies that the Seller does not know of any wells on the described real property.
- A well disclosure certificate accompanies this document or has been electronically filed. (If electronically filed, insert WDC number: _____.)
- I am familiar with the property described in this instrument and I certify that the status and number of wells on the described real property have not changed since the last previously filed well disclosure certificate.

BECKER COUNTY DEED TAX

AMT. PD. \$ 237.37
Receipt # 471248
Becker County Auditor/Treasurer

✓ chg
paid
well
non/std
extra

Grantor

State Bank of Park Rapids
(name of Grantor)

By: Marty Peterson
(signature) Marty Peterson

Its: President
(type of authority)

By: Sharon Weaver
(signature) Sharon Weaver

Its: Vice President
(type of authority)

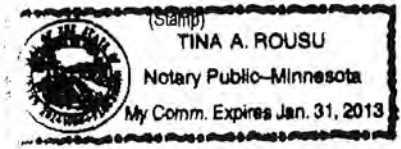
State of Minnesota, County of Hubbard

This instrument was acknowledged before me on March 1, 2011, by Marty Peterson
(month/day/year) (name of authorized signer)

as President
(type of authority)

and by Sharon Weaver
(name of authorized signer)

as Vice President of State Bank of Park Rapids
(type of authority) (name of Grantor)



Tina Rousu
(signature of notarial officer)

Title (and Rank): _____

My commission expires: 1-31-13
(month/day/year)

THIS INSTRUMENT WAS DRAFTED BY:
(insert name and address)

Gregory D. Larson
Attorney at Law
P.O. Box 591
Park Rapids, MN 56470
218-237-5075

TAX STATEMENTS FOR THE REAL PROPERTY DESCRIBED IN THIS INSTRUMENT SHOULD BE SENT TO:

(insert legal name and residential or business address of Grantee)
Whitney Marlett
29374 580th Avenue
Park Rapids, MN 56470

NIL
To: State Bank of Park Rapids
PO Box 31
Park Rapids MN 56470

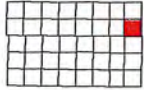


These data are provided on an "AS-IS" basis, without warranty of any type, expressed or implied, including but not limited to any warranty as to their performance, merchantability, or fitness for any particular purpose.

1:16,901	
This map is not a substitute for accurate field surveys or for locating actual property lines and any adjacent features.	
	Date: 9/9/2019

Becker County



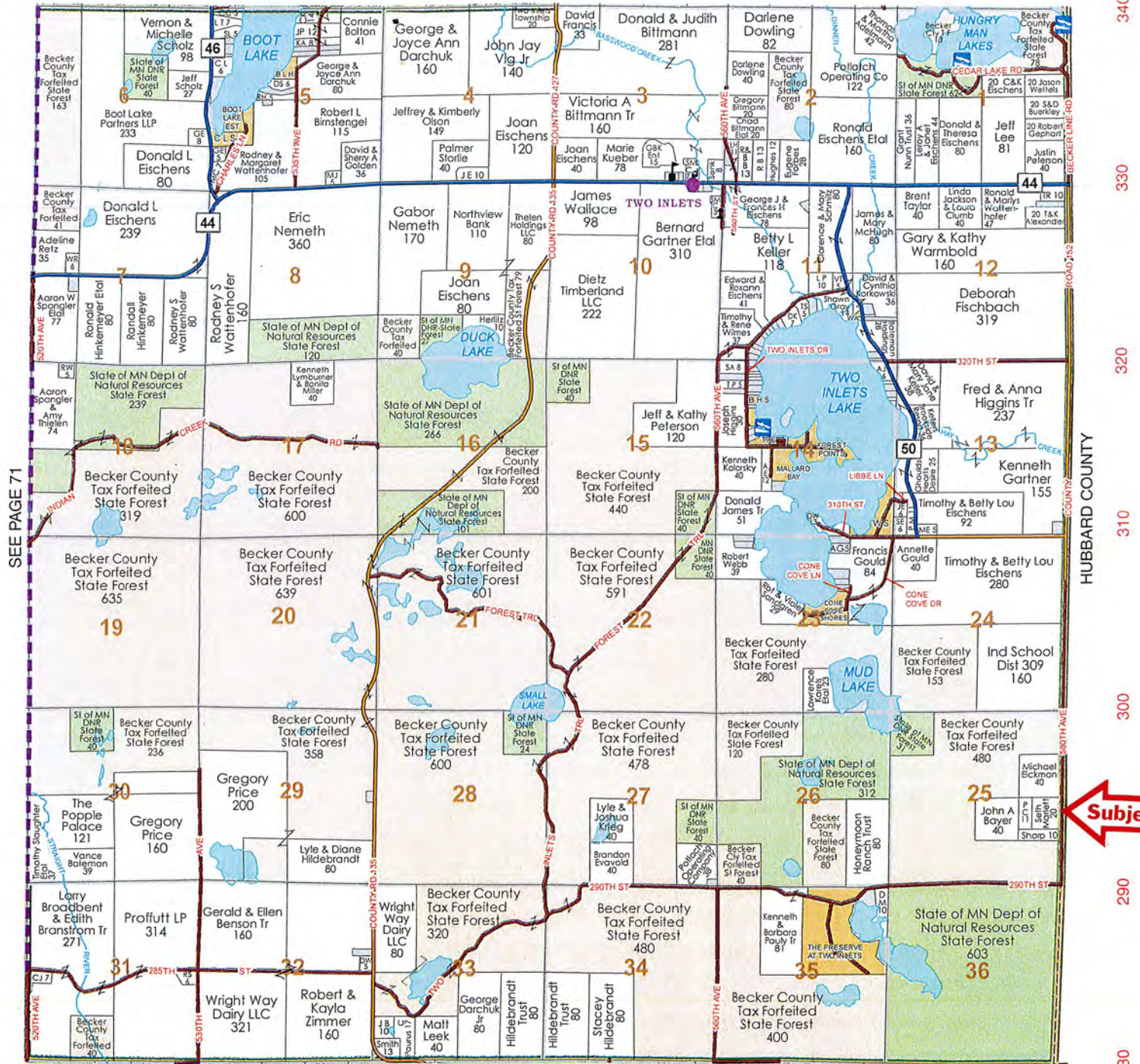


Two Inlets

Township 141N - Range 36W

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SEE PAGE 89



SEE PAGE 55

SEE PAGE 57

520

530

540

550

560

570

580 73

Subject



COUNTY OF BECKER

Planning and Zoning

915 Lake Ave, Detroit Lakes, MN 56501

Phone: 218-846-7314 ~ Fax: 218-846-7266

PLANNING COMMISSION NOTICE OF PUBLIC HEARING

HEARING DATE AND LOCATION

Tuesday, October 8th, 2019 @ 7:00 P.M.

3rd Floor Jury Assembly Room New Addition-Becker County Courthouse
Detroit Lakes, MN 56501

APPLICANT: **Steve & Leah Lymburner**
27658 Co Rd 156
Osage MN 56570

Project Location: Co Hwy 44, Ponsford

APPLICATION AND DESCRIPTION OF PROJECT:

Request a Conditional Use Permit for the installation of a 199' telecommunications tower with related ground equipment.

LEGAL LAND DESCRIPTION: Tax ID number: 05.0013.000

Section 03 Township 140 Range 037; N1/2 W1/2 NW1/4 AKA NW1/4 NW1/4, Carsonville Township.

REFER TO BECKER COUNTY ZONING ORDINANCE

Replies/Comments: Interested parties are invited to submit to the Becker County Department of Planning, Zoning, and Land Use, written facts, arguments or objectives before the scheduled date of the Hearing. These statements should bear upon the suitability of the location and the adequacy of the Project and should suggest any appropriate changes believed to be desirable. Replies may be addressed to:

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Conditional Use Application Review

Permit # CUP2019-1

Property and Owner Review

Owner: **STEVEN F & LEAH M LYMBURNER**

Parcel Number(s): **050013000**

Mailing Address:

**STEVEN F & LEAH M LYMBURNER
27658 CO RD 156
OSAGE MN 56570**

Site Address: **Co Hwy 44 Ponsford**

Township-S/T/R: **CARSONVILLE-03/140/037**

Shoreland? **No** Name: **N/A**

Legal Descr: **N1/2 W1/2 NW1/4 AKA NW1/4 NW1/4**

Conditional Use Details Review

Description of Conditional Use Request: **Installation of a 199' telecommunications tower with related ground equipment.**

1. Describe how the conditional use permit, if granted, will not harm the use and enjoyment of other properties in the immediate vicinity for the purposes already permitted, nor substantially diminish or impair property values within the immediate vicinity.

Verizon's proposed installation will enhance the Becker County's public safety system by improving E-911 geolocation technology. In addition, as wireless communications play an integral role in our economy, improving the Verizon service will bring enhanced connectivity to the visitors to and residents of Becker County.

2. Describe how establishing the conditional use will not impede the normal, orderly development and improvement of surrounding vacant property for uses predominant in the area.

Verizon's compound is restricted to a 47' x 36'-6" gated compound and will not impede on the normal and orderly development and improvement of the surrounding property for uses permitted in the district. Increased wireless infrastructure will aid in orderly development in the vicinity of the new facility by providing critical connectivity to residential, agricultural, and commercial developments.

3. Describe how adequate utilities, access roads, drainage and other necessary facilities have been or are being provided.

Verizon has ensured the necessary utilities exist, and an access road will be constructed.

4. Describe how adequate measures have been or will be taken to provide sufficient off-street parking and loading space to serve the proposed use.

Verizon's site has been designed to provide ingress and egress to its facility. The facility is unmanned and will not increase traffic congestion.

5. Describe how adequate measures have been or will be taken to prevent or control offensive odor, fumes, dust, noise and vibration, so none of these will constitute a nuisance, and to control lighted signs and other lights so that no disturbance to neighboring properties will result.

The tower will not emit offensive odors, fumes, or dust. The diesel generator will be tested once a month as part of routine maintenance. The noise from the generator will be brief and no more than that of a standard farm tractor.

Additional shoreland questions below (if applicable)

6a. Describe how adequate measures have been or will be taken to assure that soil erosion or other possible pollution of public waters will be prevented, both during and after construction.

6b. What measures have been taken to assure that the visibility of structures and other facilities as viewed from public waters will be limited.

6c. What measures have been taken to assure that the site is adequate for water supply and on-site sewage treatment.

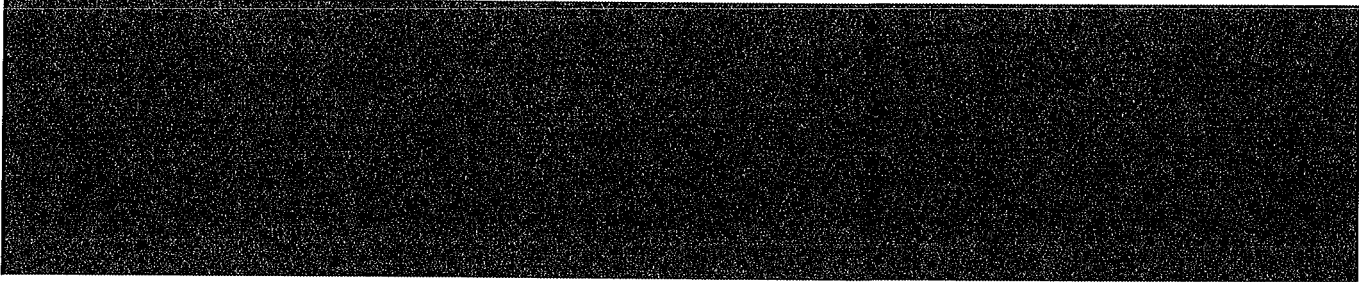
6d. Describe how the types, uses and number of watercrafts that the project will generate can be safely accommodated.

Business Plan Review

Name of Business: **Verizon Wireless c/o NTP Wireless**

Business Owners: **Brandon Haggerty**

Business Type: Service If 'Other', explain:
Type of Merchandise: Wireless cellular service
Type of Service: Telecommunications Provider
Hours and Days of Operation: N/A - Facility is unmanned
Number of Employees: N/A - Facility is unmanned
Off-Street Parking Plan: N/A - Facility is unmanned
Size of structure to be used for Business: One 199' self support lattice tower with a 47' x 36'-6" fenced compound
New or Existing: New Structure
Signage Plan: No proposed signage
Exterior Lighting Plan: No proposed plan for exterior lighting
Known Environmental Hazards: No known environmental issues
Additional Business Plan Information: No additional business plan information



Conditional Use Application for
Verizon Central LLC d/b/a Verizon
Wireless for a 190' Communications
Tower located on County Highway 44,
Ponsford, MN 56575
(Parcel ID: 050013000)



Chris Barton, Director
125 S. Clark Street, 17th Floor, Chicago, IL 60603

TABLE OF CONTENTS

	<u>PAGE</u>
<u>SUMMARY OF PROPOSED CONDITIONAL USE</u>	3
<u>COMPLIANCE WITH SECTION 18</u>	4-10

APPLICATION EXHIBITS:

<u>EXHIBIT A:</u>	<u>CONSTRUCTION DRAWINGS WITH SITE PLAN</u>
<u>EXHIBIT B:</u>	<u>LAND USE MAP – HALF MILE (1/2) RADIUS</u>
<u>EXHIBIT C:</u>	<u>EVIDENCE OF INSURANCE</u>
<u>EXHIBIT D:</u>	<u>CO-LOCATION AGREEMENT</u>
<u>EXHIBIT E:</u>	<u>FAA LETTER</u>
<u>EXHIBIT F:</u>	<u>FCC NEPA LETTER</u>
<u>EXHIBIT G:</u>	<u>NO EXISTING TOWERS – 3 MILE RADIUS</u>
<u>EXHIBIT H:</u>	<u>EQUIPMENT REMOVAL BOND</u>

SUMMARY OF PROPOSED CONDITIONAL USE APPROVAL FOR A 190' COMMUNICATIONS TOWER

Verizon Central LLC ("Verizon") seeks Conditional Use Permit approval to construct a 190 foot wireless communications tower with a nine (9) foot lightning rod on the property located on County Highway 44 with a property tax ID number of 050013000. The purpose of the facility is to allow Verizon to improve its customer experience in the vicinity of the proposed facility. The property is located in Becker County and the property is zoned Agricultural. The property is owned by William and Loriann Lymburner. The subject parcel's primary use is agricultural.

Verizon's antenna and ancillary equipment will be mounted at the 186' elevation. The tower will be capable of holding no less than four (4) additional co-locators at 166', 146', 126', and 106' elevations. The tower will be built within a 36'-6" x 47' fenced perimeter inside Verizon's 100' x 100' lease area. Within the compound, Verizon will install its ground equipment along with a generator and hand hole/pull box for its fiber equipment. The compound will be enclosed by a fence and accessed only through a locked gate. The site is an unmanned facility; therefore, no water or sewage service is necessary. The tower and compound will be accessed from County Highway 44 (see Exhibit A for specific access point).

If Becker County approves the Conditional Use Permit, the enhancement of Becker County's public safety system and the improved E-911 services from Verizon will improve public safety in the County. A few other beneficial elements of the additional infrastructure are below:

- More than 75% of prospective home buyers prefer strong cellular connections when buying a home (Rootmetrics, June 2015).
- 35% of Americans reach for their smartphone first in the morning (CTIA, July 2015), underscoring the importance of in-building coverage.
- In the United States, mobile data traffic will grow 7-fold from 2014 to 2019, a compound annual growth rate of 47%. (Cisco VNI Mobile Forecast Highlights, 2014-2019, October 2015)
- In the US, there are 355 Million wireless devices for 319 million residents. (CTIA, "Facts and Infographics, June 2015).

Robust public safety services enhance the general welfare of the community by reducing emergency responder's response times to life/safety emergencies.

COMPLIANCE WITH BECKER COUNTY CONDITIONAL USE PERMIT STANDARDS: SECTION 18 –
TOWERS.

Verizon has met all of Becker County's conditional use permit standards pursuant to Section 18 - Towers and granting Verizon's requested conditional use permit approval is the only appropriate determination.

E. Standards for all towers. All towers in Becker County shall meet the following standards.

1. **CUP towers prohibited in residential subdivision.** No conditional use permit shall be issued for a tower facility within a subdivision intended for residential use.

***The subject location is located in an agricultural district, and not a residential subdivision.**

2. **Minimum setbacks.** Any tower shall conform with the following minimum setback requirements:

***Verizon's proposed tower location is no less than 250 feet from the parcel boundary. Per page A-1 of Exhibit A, the tower is setback 250 feet from the northern parcel boundary and 269 feet from the western parcel boundary.**

a. **Public water setback.** No tower facility shall be erected within two thousand six hundred forty feet (2640') of the ordinary high water level of any public water unless there is a finding that there is no other practical alternative location outside of that distance.

*** The proposed facility is located outside of the 2640' setback range from the ordinary high water level of any public water.**

b. **Same as other structures in district.** In addition to the public water setback in subsection a., immediately above, tower facilities shall meet the setback requirements of the zoning district in which the tower facility is located.

***Verizon's proposed tower is setback substantially greater than the minimum required setbacks required of conventional development in an Agricultural-zoned district.**

c. **Fall zones.** The minimum distance to the nearest residential property line shall be equal to the height of the tower. The minimum distance to the nearest dwelling shall be the height of the tower plus one hundred feet (100').

*** Verizon's proposed tower is located in an Agriculture-zoned district with the closest neighboring residential structures located 1,800 feet northeast of the proposed facility.**

3. **Required and prohibited signs.** The owner's name, telephone number and site identification number shall be posted on the gate of the perimeter fence. No other advertising or identification sign of any kind is permitted on the tower facility, except warning and equipment information required by the manufacturer or by federal, state or local authorities.

***Verizon's contact information and other governmentally required markings and no other advertising will be present.**

4. **Minimum removal of vegetation.** Removal or alteration of vegetation is allowed as necessary for the construction and erection of the tower facility including accessory buildings and supports, but shall be held to a minimum.

***Verizon will only remove existing vegetation as is necessary for construction. Please reference Exhibit A for specific Verizon scope of work.**

5. **Erosion control.** If erection of the tower or construction of tower facility will disturb any bluffs or steep slopes, the erosion control plan submitted with the application shall be complied with.

***Verizon's proposed scope of work will not disturb any bluffs or slopes necessitating substantial grading. Subject site requires very minimal grading.**

6. **Building and electrical code.** All towers erected or located within the County and all wiring therefore shall comply with the following requirements:

a. Towers and their antennas shall be certified by a qualified and licensed professional engineer to conform to the latest structural standards of the Uniform Building Code and all other applicable reviewing agencies.

***Verizon's construction drawings (included as Exhibit A) are signed and sealed by a licensed State of Minnesota Professional Engineer.**

b. Towers and their antennas shall be designed to conform to accepted electrical engineering methods and practices and to comply with the provisions of the National Electrical Code.

***Verizon's site design as articulated in Exhibit A complies with the noted electrical standards.**

7. **Weather-proof materials.** Metal towers shall be constructed of, or treated with, corrosive resistant material.

***Verizon's tower will be constructed of steel.**

8. **Co-location required.** In order to reduce the number of tower facilities needed within the county in the future, any proposed tower shall be designed, structurally, electrically, and in all respects to accommodate both the applicant's antennas and comparable antennas for additional users. For towers less than two hundred feet (200') in height, the structure shall be designed to accommodate at least four (4) additional providers. This requirement may be modified if the applicant demonstrates that such a design is not feasible for economic, technical or physical reasons. To allow for future rearrangement of antennas upon the tower, the tower shall be designed to accept antennas mounted at no less than twenty-foot (20') intervals.

***Verizon's proposed tower will be able to accommodate a total of no less than four (4) additional collocators. Please see page T-1 of Exhibit A with future collocator locations.**

9. **Climbing deterrents.** All towers shall be reasonably protected against unauthorized climbing. The bottom of the tower, measured from ground level to twelve feet (12') above ground level, shall be designed in a manner to preclude unauthorized climbing or shall be enclosed by a six foot (6') high chain link fence with anti-climb barbed wire protection and a locked gate.

***Verizon's proposed installation complies with this section by using a 6 foot fence with three strands of barbed wire at the top with a locked gate. Please reference Exhibit A.**

10. **Camouflage.** All towers and their antennas shall utilize building materials, colors, textures, screening and landscaping that effectively blend the tower facilities with the surrounding natural setting and built environment to the greatest extent possible as determined by the office of the Zoning Administrator.

***Verizon's tower will have a galvanized finish to reduce the visual impact. The location for the proposed facility was selected due to its being located in an area with few nearby neighbors.**

11. **Screening.** Trees and large shrubs, native to the area, shall be planted so that the facility is screened from adjacent residential properties. These trees and large shrubs shall be maintained for the life of the tower facility.

***The self-support tower and Verizon's ground equipment will be enclosed by a 6' tall fence. The specific site location was selected due to the extreme lack of nearby residents and there are no adjacent residential properties.**

12. **Lighting.** Towers and their antennas shall not be illuminated by artificial means, except for camouflage purposes (designed as a lighted tower for a parking lot or a ball field) or the illumination is specifically required by the Federal Aviation Administration or other authority. No nighttime strobes shall be allowed unless specifically required by the Federal Aviation Administration or other authority.

***Verizon will only light its proposed tower if required by the Federal Aviation Administration.**

13. **Prohibited in public right-of-way.** No part of any antenna or tower, nor any lines, cable, equipment, wires, or braces shall at any time extend across or over any part of the right-of-way, public street, highway, or sidewalk, without approval of the County through the building permit approval process.

***The proposed tower is located 250 feet from the closest right-of-way. No part of the facility will extend across any right-of-way.**

14. Insurance required. All communication towers and their antennas shall be adequately insured for injury and property damage caused by collapse of the tower.

***Verizon possesses adequate insurance. Please see attached Exhibit C for evidence of insurance.**

G. CUP application requirements.

Application for a conditional use permit for a tower facility shall be submitted pursuant to the requirements of Chapter 8, Section 11 of this ordinance and shall be accompanied by the following:

1. **Site plan.** A site plan for the proposed tower facility site, which shall include the following:
 - a. Graphic scale of the plan, not less than one inch to twenty feet (1":20');
 - b. North directional arrow;
 - c. Location and size of the proposed tower facility, support structures, accessory buildings, access driveways, public roads, parking fences, signs and landscaped areas;
 - d. Building setback lines
 - e. Existing topography, with contour intervals of not more than ten feet (10'), related to the United States Geological Survey datum;
 - f. The location of water courses, ravines, bridges, lakes, wetlands, wooded areas, rock outcroppings, bluffs, steep slopes, and other geological features within the site;
 - g. Proposed surface drainage diagram for the site;
 - h. Proposed screening; and
 - i. Proposed removal of natural vegetation.

***Please see Exhibit A for Verizon's construction drawings including site plan and survey.**

2. **Vicinity map.** Vicinity map showing land uses and existing residences and businesses within one-half (1/2) mile of the proposed tower.

***Please see Exhibit B. The land uses within one-half (1/2) mile of the proposed tower is predominantly residential and agricultural.**

3. **Co-location effort statement.** A sworn statement signed by applicant that the communications equipment for the proposed tower cannot be accommodated on an existing tower or building within a two (2) mile radius of the proposed tower due to one or more of the following reasons:

***There are no existing tower structures within a three (3) mile radius of the subject location. Please see Exhibit G for aerial map.**

a. The planned equipment would exceed the structural capacity of the existing or approved tower or building, as documented by a qualified and licensed professional engineer, and the existing or approved tower cannot be reinforced or modified to accommodate planned equipment at a reasonable cost.

***N/A**

b. the planned equipment would cause interference materially impacting the usability of other existing or planned equipment at the tower or building as documented by a qualified and licensed professional engineer, and the interference cannot be prevented at a reasonable cost.

***N/A**

c. No existing or approved towers or commercial/industrial buildings within a two-mile radius meet the radio frequency (RF) engineer.

***NA**

d. Existing or approved towers and commercial/industrial buildings within a two (2) mile radius cannot accommodate the planned equipment at a height necessary to function reasonably as documented by a qualified and licensed professional radio frequency (RF) engineer.

***N/A**

e. In spite of best efforts, the applicant is unable to negotiate reasonable business terms regarding the lease or purchase of space on an existing tower. Proof of negotiations may be required.

***N/A**

f. The applicant must demonstrate that a good faith effort to co-locate on existing towers and structures within a two (2) mile radius was made, but an agreement could not be reached.

***N/A**

4. **Future co-location agreement.** A commitment in writing from the applicant committing the applicant and its successors to allow the shared use of the tower facility if an additional user agrees in writing to meet reasonable industry terms and conditions for shared use.

***Verizon is committed to shared use of the facility. Please see attached Exhibit D Co-location Agreement signed by Verizon.**

5. **Erosion control plan.** If erection of the tower or construction of any tower facility will disturb any part of a bluff or a steep slope, the applicant shall provide an erosion control plan prepared by a landscape architect or professional engineer.

***Verizon's proposed facility will not disturb a bluff or steep slope. Please see page A-1 of Exhibit A for Verizon's proposed site plan. There is 1-3' terrain changes based on the topography inside Verizon's footprint.**

6. **FAA filing.** Proof of filing of an application with the Federal Aviation Administration or an engineer statement showing that no filing with the Federal Aviation Administration is necessary.

***Please see attached Exhibit E FAA Letter.**

7. **FCC requirements.** A copy of the National Environmental Protection Act study required by the Federal Communication Commission. No antenna shall be installed on any tower facility until a Federal Communication license is issued for that antenna.

***Verizon has completed its National Environmental Protection Act (NEPA) study. Please see attached Exhibit F. In addition, Verizon only operates in authorized spectrum pursuant to FCC rules.**

8. **Proof of insurance.** A copy of the Certificate of Insurance for liability and workers compensation insurance that requires notification to Becker County Planning and Zoning Office prior to cancellation. This insurance shall be kept in effect until the tower facility is removed.

***Please see attached Exhibit C for Verizon's evidence of insurance.**

9. **Financial guarantee.** An acceptable financial guarantee equal to one and one-half times the estimated cost of removing the tower facility and restoring the site to its original condition. The estimated cost shall be determined by the Becker County Zoning Administrator.

***As a condition to Becker County's conditional use approval to this application Verizon is agreeable to restore the site to its original condition in the event Verizon decommissions use or the facility is abandon. Please see Verizon's equipment removal bond shown as exhibit H.**

10. **Fees.** Filing fees as determined by the Becker County Board of Commissioners.

***Verizon has included the required fee with the subject application package.**

H. **Time frame for completion of construction.** Construction of an approved tower facility shall be completed within two (2) years from the date of the issuance of the conditional use permit. Landscaping and screening must be installed within the first growing season immediately following construction.

***Verizon agrees to the complete construction two (2) years from the date of conditional use permit issuance.**

I. **Continued use of existing towers, abandonment and removal.**

1. **Continued use.** Existing tower facilities may continue in use and routine maintenance may be performed on them, but they may not be altered, converted, modified, transformed, varied, added to or changed in any way without complying with the terms of this Ordinance.

***Verizon agrees to consult with Becker County's zoning department in the event it contemplates a 'substantial change' to this approved facility as defined by the Federal Commuication Commission.**

2. **Annual statement of use required.** The owner of an existing tower facility or any tower facility erected or constructed after the passage of this Ordinance shall file an annual statement on or before January 10th of each year following construction of the tower. If the statement is not filed by January 10th of any year, the County shall notify the owner in writing of failure to file. Failure to file a statement within sixty (60) days of receiving a notice of failure to file shall be prima facie evidence that the tower facility is no longer in use and may be considered abandoned.

***Verizon requests a Becker County-approved 'annual statement' to evaluate Verizon's ability to comply with this subsection.**

3. **Abandonment and removal.** Tower facilities that are not in use for 180 consecutive days shall be deemed abandoned and shall be removed by the owner within 180 days from the date of the abandonment. Removal includes removal of the complete tower facility, including accessory buildings and related above ground infrastructures and restoration of the site to preexisting vegetative cover.

***Verizon requests to be notified prior to the County's determination that a tower facility is 'abandoned' pursuant to this ordinance.**

a. **Multiple operators.** In case of multiple operators sharing the use of a single tower, the tower shall not be deemed abandoned until all users cease operations for a period of 180 consecutive days.

b. **Removal by County.** If the tower facility is not removed in accordance with this subdivision, then the County, after 60 days' notice to the owner or operator of the tower facility, may take legal action. The County's remedies may include obtaining a court order allowing the County to remove the tower facility at the cost of the owner or last operators..

J. **Maintenance required.** All tower facilities shall be maintained in a safe and clean condition. The tower facility owner shall be responsible for maintaining a graffiti, debris, and litter free site. The landscape plan shall be maintained for the life of the tower facility. If the facility is not maintained, the County may bring legal action. The County's remedies may include, after 60 days' notice to the owner or operators, an order allowing the County to complete the maintenance at the cost of the owners or operators of the tower facility.

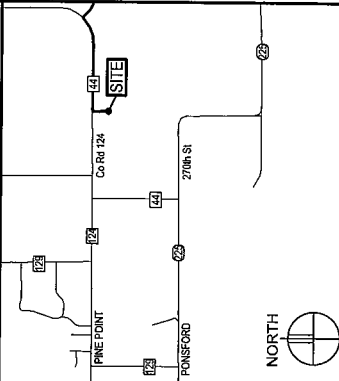


MN05 PONSFORD NEW BUILD

PROJECT INFORMATION

SITE NAME: MN05 PONSFORD
 COUNTY: HENRY, MN
 ADDRESS: PONSFORD, MN 56575
 COUNTY: BECKER
 LATITUDE: N 48° 59' 36.35" (NAD83)
 LONGITUDE: W 95° 21' 04.38" (NAD83)
 DRAWING BASED ON: 07-10-19
 SITE DATA FORM DATED: 11B
 CONSTRUCTION TYPE: 100' X 100' = 10,000 S.F.
 SITE AREA:

VICINITY MAP



SHEET INDEX

SHEET	SHEET DESCRIPTION
T-1	PROJECT INFORMATION, TOWER ELEVATION & SHEET INDEX
A-1	SITE PLAN & DETAIL INDEX
A-2	ENLARGED SITE PLAN
A-3	ANTENNA AND EQUIPMENT KEY, CABLE BRIDGE PLAN & NOTES
A-4	OUTLINE SPECIFICATIONS
G-1	GROUNDING NOTES
G-2	GROUNDING PLAN & GROUNDING DETAIL INDEX
U-1	SITE UTILITY PLANS & NOTES
-	SURVEY (2 SHEETS)

LOCATION SCAN



ISSUE SUMMARY

REV	DESCRIPTION	SHEET/DETAIL
A	ISSUED FOR REVIEW 01-04-18	ALL
B	ISSUED FOR OWNER SIGNOFF 08-05-18	ALL
C	NEW NETWORK STANDARD & SDF 08-01-19	ALL

DEPARTMENTAL APPROVALS

JOB TITLE	NAME	DATE
RF ENGINEER	CHAD FERRY	01-08-18
OPERATIONS MANAGER	RONALD SIMONS	08-05-18
CONSTRUCTION ENGINEER	MICHAEL THIEL	01-05-19

LESSOR / LICENSOR APPROVAL

SIGNATURE	PRINTED NAME	DATE

LESSOR / LICENSOR: PLEASE CHECK THE APPROPRIATE BOX BELOW
 NO CHANGES. CHANGES NEEDED. SEE COMMENTS.

CONTACTS

LESSOR / LICENSOR: STEVEN & LEAH LYMBURNER
 27656 COUNTY ROAD 156
 PONSFORD, MN 56570
 (218) 252-2107

LESSEE: VERIZON WIRELESS
 1880 BUSH LAKE ROAD
 BLOOMINGTON, MN 55420
 CONSTRUCTION DEPT. (652) 946-4700

OWNER / UTILITY COMPANY CONTACT: ITASCA-MANTRAP COOP
 PARK RAPIDS, MN 56470
 (218) 732-3377

TELCO UTILITY COMPANY CONTACT: ESTHER SIMON (218) 732-3377
 T.B.D.

ARCHITECT: DESIGN 1 ARCHITECTS LLC
 5973 VALLEY VIEW ROAD
 EBEN PRAIRIE, MN 55344
 (952) 202-9289

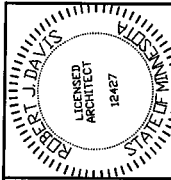
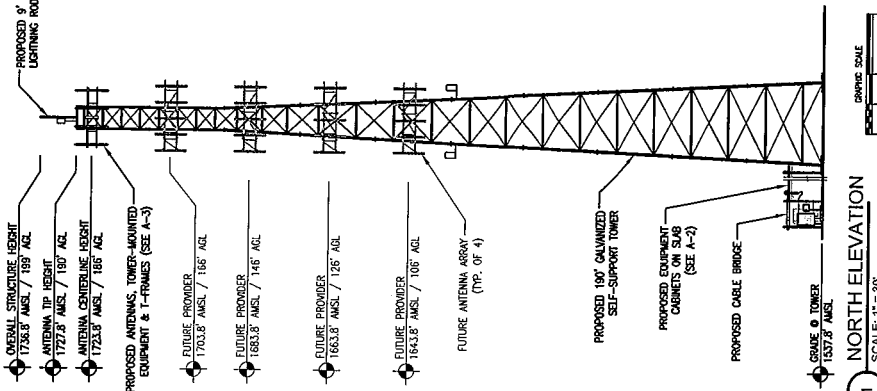
SURVEYOR: WISSETH SMITH HOLDING
 10000 WISSETH RD BOX 1028
 ALEXANDRIA, MN 56308-1028
 320-762-5149
 T.B.D.

STRUCTURAL ENGINEER: T.B.D.

GEOTECHNICAL ENGINEER: T.B.D.

TOWER ELEVATION

NOTE:
 1.) TOWER TO BE ERRECTED AND INSTALLED IN ACCORDANCE WITH TOWER MANUFACTURER'S DRAWINGS NOT INCLUDED WITH THIS PACKAGE. DISCREPANCIES BETWEEN TOWER DRAWINGS AND ARCHITECTURAL DRAWINGS TO BE REPORTED TO VERIZON WIRELESS AND THE ARCHITECT IMMEDIATELY.
 2.) TOWER FOUNDATION, EQUIPMENT CABINET SUB, GENERATOR FOUNDATION AND ACCESS DRIVE TO BE EXCAVATED AND CONSTRUCTED IN ACCORDANCE WITH RECOMMENDATIONS AND SPECIFICATIONS OF THE GEOTECHNICAL REPORT WHICH IS ATTACHED TO THIS PACKAGE. DISCREPANCIES BETWEEN THE REPORT AND THE OTHER DOCUMENTS TO BE IMMEDIATELY REPORTED TO VERIZON WIRELESS AND THE ARCHITECT.
 3.) CONTRACTOR TO ENSURE TIP OF ANTENNAS DO NOT EXCEED TOWER HEIGHT.



I hereby certify that the plan, specification, or contract was prepared by me or under my direct supervision and that I am a duly licensed architect in the State of Minnesota.
 ROBERT J. DAVIS, Reg. No. 12427

Signed: *Robert J. Davis*
 DATE: 08/01/2019



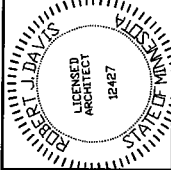
PROJECT: 20171617671
 LOC. CODE: 457290

MN05
 PONSFORD

COUNTY HWY 44
 PONSFORD, MN 56575

SHEET CONTENTS:
 CONTACTS
 SHEET INDEX
 DEPARTMENTAL APPROVALS
 LESSOR APPROVAL
 PROJECT INFORMATION
 PROJECT LOCATION SCAN
 TOWER ELEVATION

DRAWN BY:	MSG/J.P.
01-08-18	11-03-17
CHECKED BY:	BMS
REV. A	01-05-18
REV. B	08-05-18
REV. C	08-01-19



I hereby certify that this plan, prepared by me or under my direct supervision, complies with the laws and regulations of the State of Minnesota. I am a duly Licensed Professional Engineer. License No. 12427.

Robert J. Brav
 Date: 08/12/2019
 DNR:



verizon
 11801 BUSH LAKE ROAD
 BLOOMINGTON, MN 55438
 (651) 746-4100

PROJECT
 20171617671
 LOC. CODE: 497290

MN05
 PONSFORD

COUNTY HWY 44
 PONSFORD, MN 56575

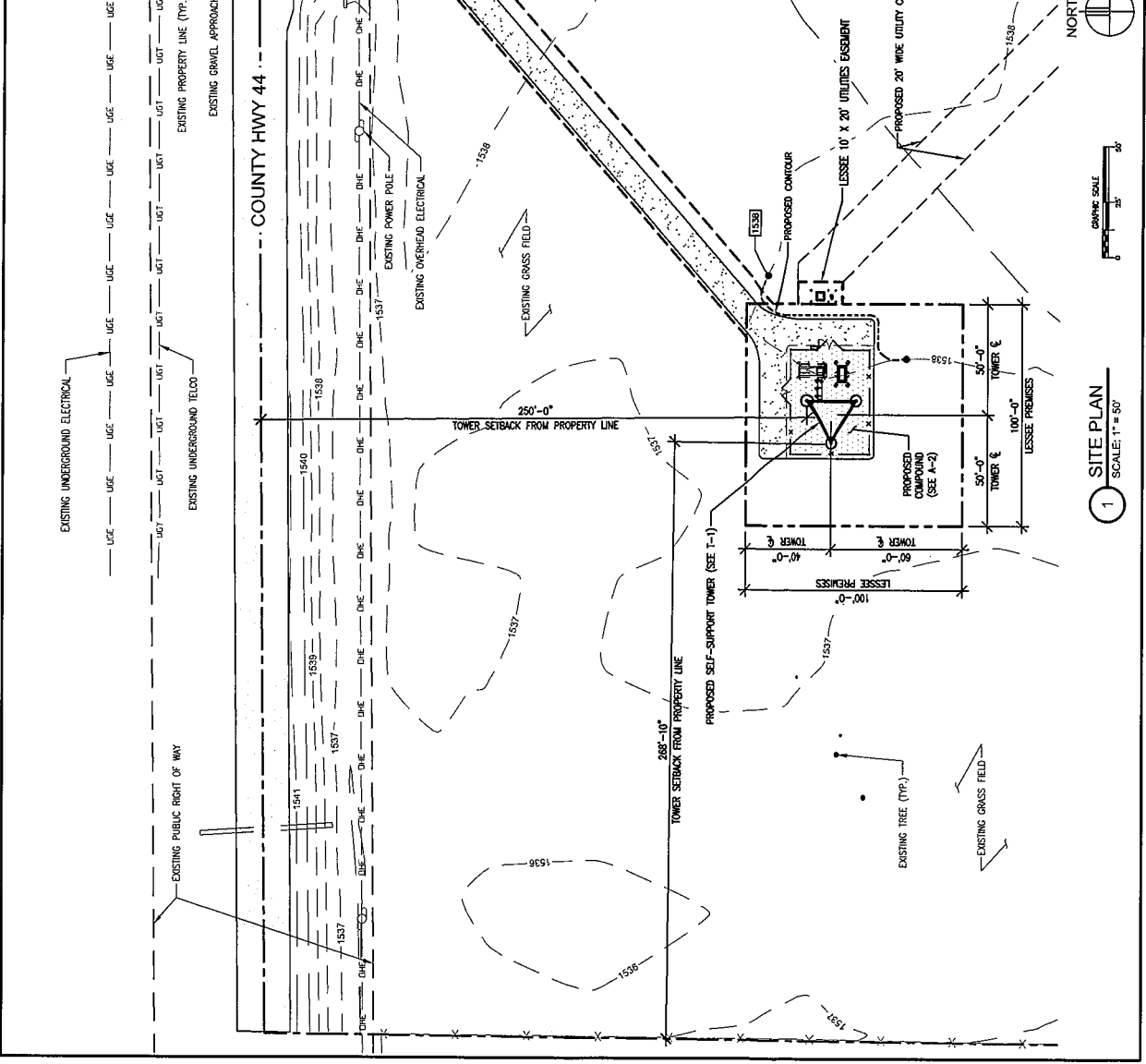
SHEET CONTENTS:
 SITE PLAN
 DETAIL INDEX

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CHECKED BY:	BMS
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REV. B:	06-05-18
REV. C:	08-01-19

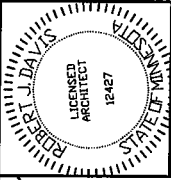
A-1

DETAIL INDEX	
DETAIL	DETAIL DESCRIPTION
SLAB	4'-0"x11'-0" SLAB ON GRADE W/ 3 CABINETS
GEN. 1.4	30RECK DIESEL GENERATOR W/ ICE SHIELD
1.1	BOLLARD DETAIL
2.1	FENCE SECTION (DETAIL 2)
3.1	CABLE BRIDGE SECTION
4.3	CABLE BRIDGE ELEVATION
5.1	GRAVEL ROAD W/ BASE (DETAIL 1)
6.1	SNOWMAN GATE (DETAIL 1)
7.1	GFS MOUNTING DETAIL (DETAIL 2)
8.1	TELCO ENTRY DETAIL (DETAIL 1)
9.1	CMPH DETAIL
10.8	ONE-LINE ELECTRICAL DIAGRAM
12.1	METER PEDESTAL (DETAIL 2)

GENERATOR TYPE:
 DIESEL
 FROST DEPTH
 DESIGN = 5'-0"



1 SITE PLAN
 SCALE: 1" = 50'



I hereby certify that this plan, specification and contract were prepared by me or under my supervision and that I am a duly licensed professional engineer in the State of Minnesota.
 ROBERT J. DAVIS, Reg. No. 12427

Signature: _____
 Date: 08/07/2019

DESIGN
 6973 VALLEY VIEW RD.
 EDEN PRairie, MN 55424
 (952) 903-2229
 WWW.DESIGNTEP.COM

verizon
 1089 BUSH LAKE ROAD
 BLOOMINGTON, MN 55438
 (952) 996-4700

PROJECT
 20171617671
 LOC. CODE: 457290

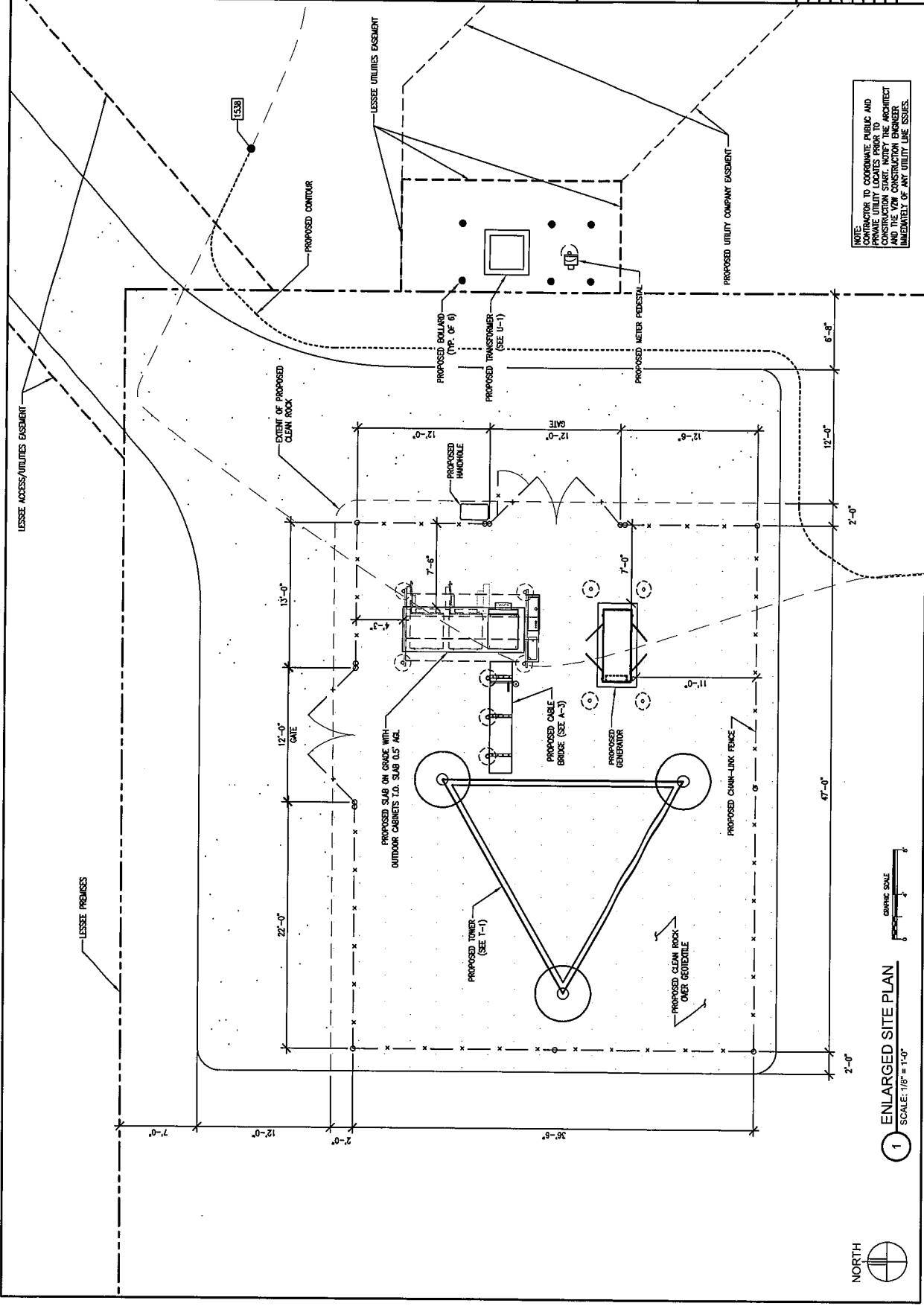
MN05
 PONSFORD

COUNTY HWY 44
 PONSFORD, MN 56575

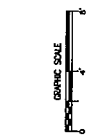
SHEET CONTENTS:
 ENLARGED SITE PLAN

DRAWN BY:	MSE/JJP
DATE:	11-10-17
DESIGNED BY:	BNB
REV. A:	01-03-18
REV. B:	05-04-18
REV. C:	08-01-19

A-2

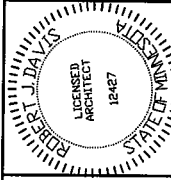


NOTE:
 CONTRACTOR TO COORDINATE PUBLIC AND PRIVATE UTILITY LOCATES PRIOR TO ANY CONSTRUCTION AND THE LOCAL CONSTRUCTION ENGINEER IMMEDIATELY OF ANY UTILITY LINE ISSUES.



1 ENLARGED SITE PLAN
 SCALE: 1/8" = 1'-0"





I hereby certify that the plans, specifications and contract documents prepared by me or under my direct supervision and seal are in accordance with the laws of the State of Minnesota, Chapter 320, and the rules of the Board of Professional Engineers, Chapter 320B, and the rules of the Board of Professional Engineers, Chapter 320B, and the rules of the Board of Professional Engineers, Chapter 320B.

Robert J. Davis
 State of Minnesota
 License No. 124127
 Date: 08/12/2019

DESIGN 1
 973 VALLEY VIEW RD.
 EGGY PRAIRIE, MN 55044
 WWW.DESIGN1IP.COM

verizon
 1001 BUSH LAKE ROAD
 BLOOMINGTON, MN 55408
 (612) 746-4100

PROJECT
 20171617671
 LOC. CODE: 457290

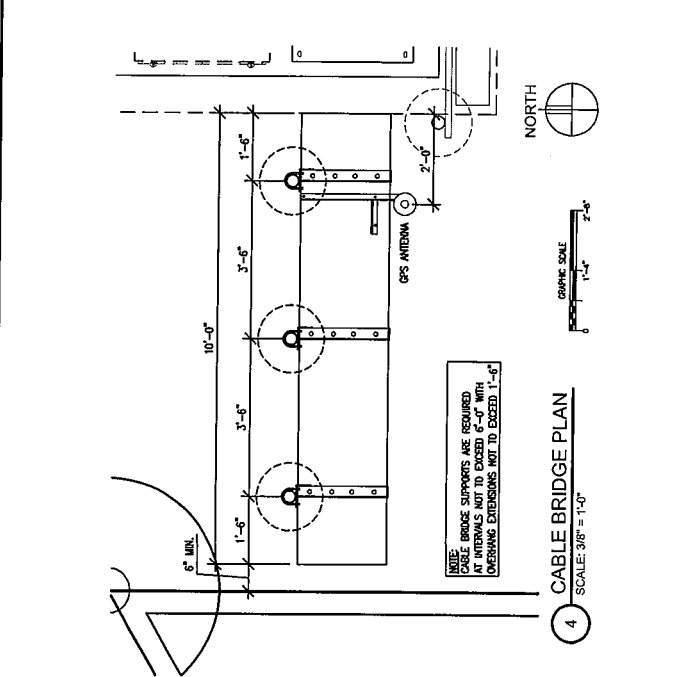
MIN05
 PONSFORD

COUNTY HWY 44
 PONSFORD, MN 56575

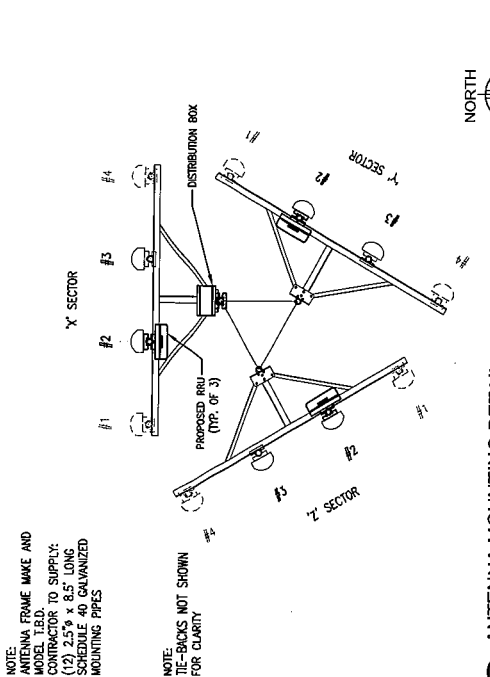
SHEET CONTENTS:
 EQUIPMENT & ANTENNA NET
 CABLE BRIDGE PLAN
 ANTENNA MOUNTING DETAIL

DRAWN BY:	MSE/JJP
DATE:	11-10-17
CHECKED BY:	BMS
REV. A	01-04-18
REV. B	06-05-18
REV. C	08-01-19

A-3



4 CABLE BRIDGE PLAN
 SCALE: 3/16" = 1'-0"



3 ANTENNA MOUNTING DETAIL
 SCALE: 3/16" = 1'-0"

ANTENNA KEY	ANTENNA KEY		ANTENNA KEY		EQUIPMENT KEY				
	HEIGHT POSITION	FUNCTION	QTY	MANUFACTURER	MODEL	MANUFACTURER	MODEL		
X SECTOR	0'	FUTURE	1	ERICSSON	4419	1	ERICSSON	4419	
	2.1	TX/RX1	1	COMSCAPE	MH-55C-R2B	2ND PORT	1	COMSCAPE	MH-55C-R2B
	2.2	TX/RX2	1	COMSCAPE	MH-55C-R2B	3RD PORT	1	COMSCAPE	MH-55C-R2B
	2.3	FUTURE	1	COMSCAPE	MH-55C-R2B	4TH PORT	1	COMSCAPE	MH-55C-R2B
	2.4	FUTURE	1	COMSCAPE	MH-55C-R2B	5TH PORT	1	COMSCAPE	MH-55C-R2B
	2.5	FUTURE	1	COMSCAPE	MH-55C-R2B	6TH PORT	1	COMSCAPE	MH-55C-R2B
	2.6	FUTURE	1	COMSCAPE	MH-55C-R2B	7TH PORT	1	COMSCAPE	MH-55C-R2B
	2.6	FUTURE	1	COMSCAPE	MH-55C-R2B	8TH PORT	1	COMSCAPE	MH-55C-R2B
Y SECTOR	0'	FUTURE	1	ERICSSON	4419	1	ERICSSON	4419	
	2.1	TX/RX1	1	COMSCAPE	MH-55C-R2B	2ND PORT	1	COMSCAPE	MH-55C-R2B
	2.2	TX/RX2	1	COMSCAPE	MH-55C-R2B	3RD PORT	1	COMSCAPE	MH-55C-R2B
	2.3	FUTURE	1	COMSCAPE	MH-55C-R2B	4TH PORT	1	COMSCAPE	MH-55C-R2B
	2.4	FUTURE	1	COMSCAPE	MH-55C-R2B	5TH PORT	1	COMSCAPE	MH-55C-R2B
	2.5	FUTURE	1	COMSCAPE	MH-55C-R2B	6TH PORT	1	COMSCAPE	MH-55C-R2B
	2.6	FUTURE	1	COMSCAPE	MH-55C-R2B	7TH PORT	1	COMSCAPE	MH-55C-R2B
	2.6	FUTURE	1	COMSCAPE	MH-55C-R2B	8TH PORT	1	COMSCAPE	MH-55C-R2B
Z SECTOR	0'	FUTURE	1	ERICSSON	4419	1	ERICSSON	4419	
	2.1	TX/RX1	1	COMSCAPE	MH-55C-R2B	2ND PORT	1	COMSCAPE	MH-55C-R2B
	2.2	TX/RX2	1	COMSCAPE	MH-55C-R2B	3RD PORT	1	COMSCAPE	MH-55C-R2B
	2.3	FUTURE	1	COMSCAPE	MH-55C-R2B	4TH PORT	1	COMSCAPE	MH-55C-R2B
	2.4	FUTURE	1	COMSCAPE	MH-55C-R2B	5TH PORT	1	COMSCAPE	MH-55C-R2B
	2.5	FUTURE	1	COMSCAPE	MH-55C-R2B	6TH PORT	1	COMSCAPE	MH-55C-R2B
	2.6	FUTURE	1	COMSCAPE	MH-55C-R2B	7TH PORT	1	COMSCAPE	MH-55C-R2B
	2.6	FUTURE	1	COMSCAPE	MH-55C-R2B	8TH PORT	1	COMSCAPE	MH-55C-R2B

2 COAX KEY

CABLE BRIDGE	180
CONDUIT	14
CABLE BRIDGE	210

ADDITIONAL:
 (1) DISTRIBUTION BOX, MODEL RV20C-6627-FF-48 (ON TOWER)
 (2) COMSCAPE MIBRO CABLE, MODEL MFT100S-2636-210 (DIST BOX IN CABINET TO DIST BOX ON TOWER)
 (3) COMSCAPE MIBRO CABLE, MODEL MFT100S-2636-210 (DIST BOX TO CABINET)
 (4) ANDREW COAX JUMPER, MODEL UBA-50A-1/2" (FROM DISTRIBUTOR TO DIST BOX ON TOWER)
 (5) DC-DC UP-CONVERTER
 (6) UP-CONVERTER MODULE

1 ANTENNA KEY

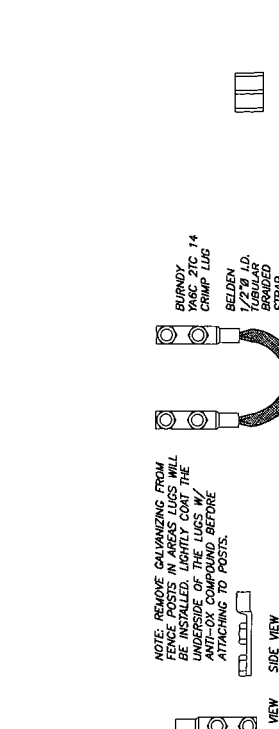
LEAD IDENTIFICATION & DESCRIPTION:

NO.	DESCRIPTION	SYMBOL
1	RING, EXTERNAL BRIDGED, W/ RODS	⊙
2	DEEP ANODE (TO IMPROVE OHMS)	⊙
3	RING TO BULK STL FRAME	⊙
4	MAIN AC PANEL, NEUTRAL BUS TO (2) GROUND	⊙
5	RODS, ISOLATED FROM LEAD #1	⊙
6	RING TO GROUND BAR	⊙
7	DEEP ANODE TO LEAD	⊙
8	EXT WATER TO INT WATER PIPES	⊙
9	EXT WATER TO INT WATER PIPES	⊙
10	INT WATER PIPE TO GROUND	⊙
11	EXT WATER TO INT WATER PIPES	⊙
12	EXT WATER TO INT WATER PIPES	⊙
13	AC PANEL TO BUS	⊙
14	MGB/FGB TO ROOF/WALL W/L PNL	⊙
15	MGB/FGB TO FIB-HE SAME FLOOR	⊙
16	MGB/FGB TO CABLE ENTRY RACK	⊙
17	MGB/FGB TO F-0 SPACE SHELF	⊙
18	LOWEST MGB/FGB TO HIGHEST FGB	⊙
19	LEAD 18 TO OTHER FGB, 4"	⊙
20	MGB/FGB TO MGB/FGB TO FIB-HE	⊙
21	MGB/FGB TO INT HALO	⊙
22	INT HALO TO EXT RING	⊙
23	MGB/FGB TO EXT RING	⊙
24	UPPER TO EACH PROTECTOR ASSEMBLY	⊙
25	RING TO NEAREST LIGHTNING ROD	⊙
26	RING TO NEAREST LIGHTNING ROD	⊙
27	RING TO NEAREST LIGHTNING ROD	⊙
28	RING TO NEAREST LIGHTNING ROD	⊙
29	RING TO NEAREST LIGHTNING ROD	⊙
30	RING TO NEAREST LIGHTNING ROD	⊙
31	RING TO NEAREST LIGHTNING ROD	⊙
32	RING TO NEAREST LIGHTNING ROD	⊙
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37	RING TO NEAREST LIGHTNING ROD	⊙
38	RING TO NEAREST LIGHTNING ROD	⊙
39	RING TO NEAREST LIGHTNING ROD	⊙
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55	RING TO NEAREST LIGHTNING ROD	⊙
56	RING TO NEAREST LIGHTNING ROD	⊙
57	RING TO NEAREST LIGHTNING ROD	⊙
58	RING TO NEAREST LIGHTNING ROD	⊙
59	RING TO NEAREST LIGHTNING ROD	⊙
60	RING TO NEAREST LIGHTNING ROD	⊙

SYMBOL AND NOTE LEGEND

SYMBOL	DESCRIPTION
⊙	#2 SPTC AROUND CABINET SLAB, TOWER, OR GUY ANCHOR
⊙	5/8" x 10'-0" GALVANIZED STEEL GROUND ROD
⊙	TEST WELL, PREFERRED LOCATION
⊙	2" x 30'-0" GALVANIZED STEEL SCHEDULE 80 WATER PIPE GROUND ROD
⊙	#2 SPTC WHIP LEAD
⊙	(2) #2 SPTC FROM MGB, FGB, OR TSB TO LEAD 1
⊙	AC HVAC UNIT
⊙	BUILDING CORNER
⊙	BOLLARD
⊙	CBS CABLE BRIDGE SUPPORT POST
⊙	CL CALUMK
⊙	ELECTRICAL SERVICE GROUND
⊙	COMMERCIAL ELECTRICAL METER
⊙	FAN GUY ANCHOR PLATE
⊙	FENCE POST
⊙	GEN GENERATOR
⊙	GPS UNIT
⊙	GUY WIRE, MECH. CLAMP ONLY - NO WELDS
⊙	H HOOD OR LOUVER
⊙	HL OUTSIDE OF HOFFMAN BOX
⊙	HC INTEGRATED LOAD CENTER
⊙	MGB MAIN GROUND BAR
⊙	MU GENERATOR MUFFLER
⊙	PRT PORT GROUND BAR
⊙	RBR FOUNDATION REINFORCING
⊙	RS ROOF SHEILD
⊙	SB STEEL BEAM
⊙	SP STEEL POST
⊙	STP STEEL PLATFORM
⊙	TEL HOFFMAN BOX
⊙	TGB TOWER GROUND BAR
⊙	TWR TOWER BASE
⊙	VP DIESEL FUEL VENT PIPE

#2 SPTC Whip Leads
 Whip leads shall connect the buried external ground ring to the following items:
 Self-Support Towers;
 The tower to (frame(s)) on each tower leg base, if none are provided, attach to the baseplate or consult tower manufacturer.
 Fences;
 Metallic fences within 25 feet of tower Lead 1, or within 6 feet of shelter lead 1, shall have whip leads as follows:
 • Each center post.
 • Each pair of gate posts.
 • Each gate lead to its respective support using leaded strap (3/4" x 1/4" rod-cold copper w/ lug ends).
 • Fences around guy anchors shall be grounded in similar fashion.
 Equal Leads
 NEVER WELD to any fuel enclosure. NEVER penetrate the fuel containment. Metal tents shall have one whip lead attached. Use an approved clamp or two-hole lug on an avoidable flange, but not limited to:
 • Each vertical support pipe of the exterior cable bridge. Bridge and shall be kept at least 6" from the tower structure. The vertical support pipe shall be secured to the tower structure with #2 SPTC at each vertical support pipe. The support pipe shall be wrapped in leaded strap (may be "jumped" to main roof shield).
 • Each HVAC package unit.
 • Generator receptacle.
 • Steel building skid, if shelter is metal frame.
 • Each air intake or exhaust fan vent louver.
 • Each generator vent hood or louver.
 • Opposite corners of generator support frame, if separate from shelter.
 • Generator fuel tank, if separate from generator unit.
 • Each building rim gutter, downspouts, and roof flashings within 25 feet.
 • Telo MPOD (Main Point of Presence), if external to equipment shelter.
 • Within cable vaults, one each to the ladder and to the manifold rim.
 Note: The door frame is connected to the interior ground halo, and need no separate connection to the external ground ring.
 Inspection & Testing
 Test lead #1 shall be tested with ohmmeter, but before backfilling or connecting to any other grounding. Using the 3-point fall of potential method. Contractor to notify Verizon Wireless senior construction engineer to perform the testing. Document individual test results with photographs.



COMPRESSION CONNECTOR DETAILS
 SCALE: NTS
 2
 TYPE VS ROUND SURFACE
 TYPE HS
 TYPE GT
 TYPE PT
 TYPE GL LUG
 NOTE: REMOVE GALVANIZING FROM FENCE POSTS IN AREAS LUGS WILL BE INSTALLED. LIGHTLY COAT THE UNDERSIDE OF THE LUGS W/ 3/4" GALVANIZED COPPER BRUSH OFF BEFORE ATTACHING TO POSTS.
 NOTE: Contractor to provide #2 solid wire lead from #1 ground ring if provided by Verizon.
 TWO-HOLE 10,000 PSI COMPRESSION FITTING UL 9488 LISTED
 TOP VIEW SIDE VIEW
 GATE BONDED TO FENCE POST
 TWO-HOLE 10,000 PSI COMPRESSION FITTING
 10,000 PSI COMPRESSION FITTING ACCEPTABLE FOR DIRECT BURIAL

GENERAL GROUNDING NOTES:
 An external buried ground ring (Lead 1) shall be established around the equipment cabinets and tower foundations. Lead 1 shall be kept 24" from foundations; if foundations are less than 48" apart, keep Lead 1 centered between them. If the tower foundations are more than 48" apart, establish a separate Lead 1. Lead 1 shall be established with two parallel leads at least 6 feet apart horizontally. Connections between the two Lead 1s shall be bidirectional.
 All substrate connections shall be by exothermic weld, brazed weld, or gas-tight UL1467-fitted compression fittings pre-filled with anti-oxidant compound. Substrate connections shall not be cold galvanized.
 Lead 1 shall be #2 solid bare tin-clad (SPTC) copper wire buried at local frost depth. Lead 1 bands shall be minimum 24" radius. Whip lead bands may be of 12" radius.
 Ground rods shall be galvanized steel, 5/8" spaced length feet apart, or as shown. Rods shall be kept min. 24 inches from foundations. Ground rods are required to be installed at their full specified length. Depth rods shall be as shown in Detail 11.1 in the Verizon Wireless Standards Detail Booklet.
SPECIAL CONSIDERATIONS FOR GROUND RODS:
 When ground rods are not specified to be backfilled w/ Bentonite (location varies), Bars (GBS), mounted inside and outside on the equipment shelter walls beneath the tower steel main part. Note: Transmission line grounds also attach to the PGSs.
 The Tower Ground Bar (TGB) mounted at the base of the TGBs. Note: Transmission line grounds also attach to the TGBs.
 NOTE: Contractor shall confirm that TGBs exist at 75-foot vertical intervals on any guyed or self-support tower, and that transmission lines are grounded to each TGB. Only the tower steel main part shall be used for grounding. Tower steel from upper TGBs may use the lower steel from the common ground, requiring no copper leads between TGBs.
 Above-noted connections shall be by lugs w/ two-hole tongues unless noted otherwise, joined to solid lugs by welding (7659 24522/41-25-07077). Self-threading (RECOGNIZED, EM 24522/41-25-07077), self-threading (EM 24522/41-25-07077) coating(s) removed prior to bolting. Bolts shall be stainless steel with flat washers on each side of the connection and a lock washer beneath the fastening nut. Star-tooth washers shall be used between lug & fastener metal (copper-to-steel, etc) bus bars. Lug tongues shall be coated with anti-oxidant compound, and excess compound wiped clean after bolting. The connection shall then be coated with cold-galvanizing compound, or with color-matching paint.
 Ground bars exposed to weather shall be tin-clad copper, and shall be clean of any oxidation prior to lug bolting.
 Galvanized items shall have zinc removed within 1" of weld area, and below lug surface contact area. After welding or bolting, the joint shall be coated with cold galvanizing compound.
Ground Bar Leads
 Ground bars are isolated electrically from tower bottoms and equipment cabinets by their standoff mounts. Leads from each ground bar to the ground ring shall be a pair of #2 SPTC, each galvanized and 18-dimensionally with #2 SPTC jumpers. Leads shall be routed to ground bars as follows:
 • The Main Ground Bar (MGB), typically mounted adjacent to LLC (location varies).
 • Bars (GBS), mounted inside and outside on the equipment shelter walls beneath the tower steel main part. Note: Transmission line grounds also attach to the PGSs.
 • The Tower Ground Bar (TGB) mounted at the base of the TGBs. Note: Transmission line grounds also attach to the TGBs.
 NOTE: Contractor shall confirm that TGBs exist at 75-foot vertical intervals on any guyed or self-support tower, and that transmission lines are grounded to each TGB. Only the tower steel main part shall be used for grounding. Tower steel from upper TGBs may use the lower steel from the common ground, requiring no copper leads between TGBs.

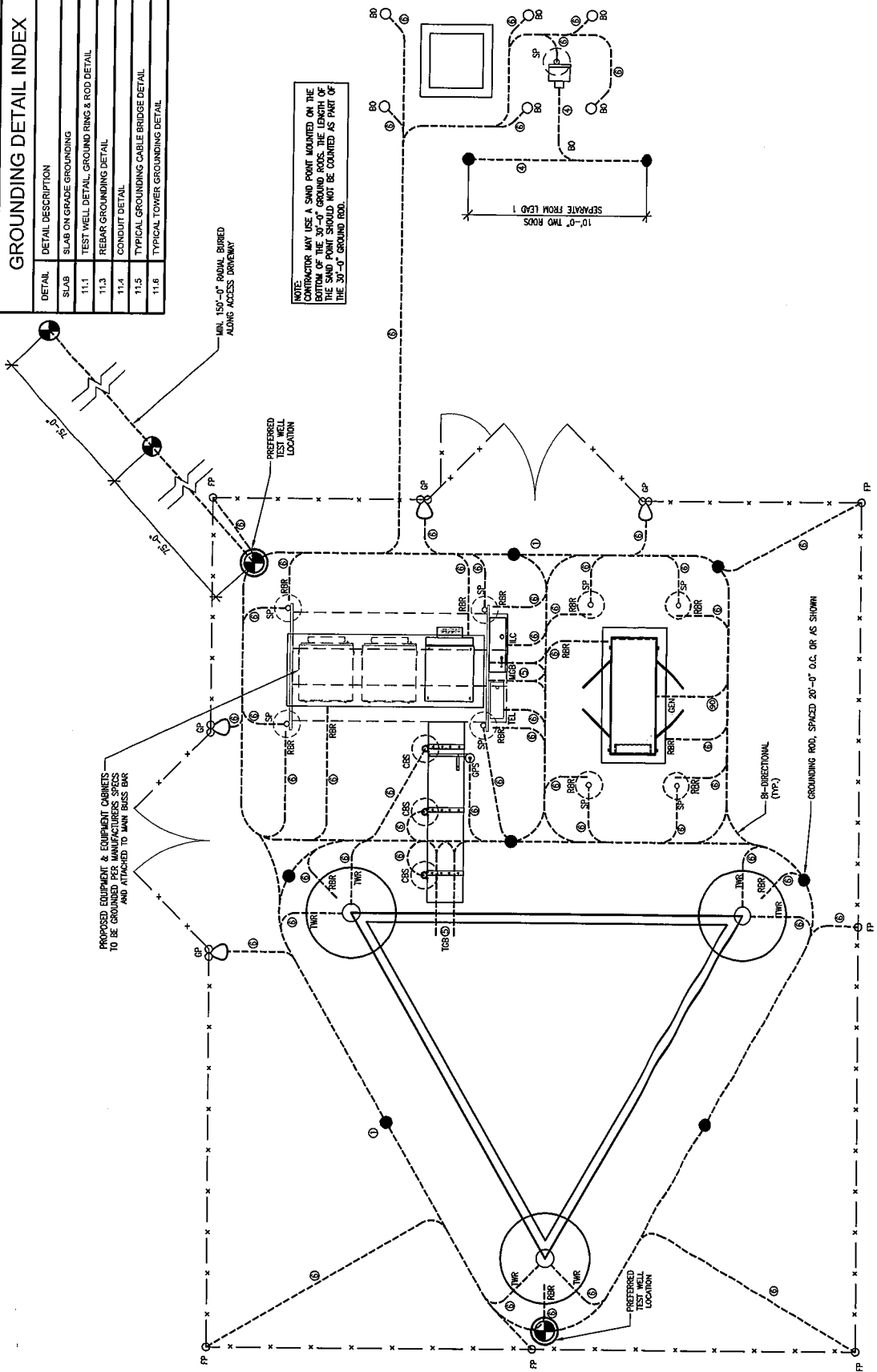
EXOTHERMIC WELD DETAILS
 SCALE: NTS
 1
 TYPE VS FLAT SURFACE
 TYPE HS
 TYPE GT
 TYPE PT
 TYPE GL LUG
 WELDED, CRIMPED, NOT
 TYPE RR REINF. BAR
 TYPE VS ROUND SURFACE
 TYPE HS
 TYPE GT
 TYPE PT
 TYPE GL LUG
 WELD: THOMAS & BETTS, S485RSE, BROWN333*
 CRAMP: BURNOD, YAC 27C 1422, 10,000 PSI
 SUREK, RECOGNIZED, EM 25222/41-25-312
 NOTE: REMOVE GALVANIZING FROM FENCE POSTS IN AREAS LUGS WILL BE INSTALLED. LIGHTLY COAT THE UNDERSIDE OF THE LUGS W/ 3/4" GALVANIZED COPPER BRUSH OFF BEFORE ATTACHING TO POSTS.
 NOTE: Contractor to provide #2 solid wire lead from #1 ground ring if provided by Verizon.
 TWO-HOLE 10,000 PSI COMPRESSION FITTING UL 9488 LISTED
 TOP VIEW SIDE VIEW
 GATE BONDED TO FENCE POST
 TWO-HOLE 10,000 PSI COMPRESSION FITTING
 10,000 PSI COMPRESSION FITTING ACCEPTABLE FOR DIRECT BURIAL

GROUNDING DETAIL INDEX

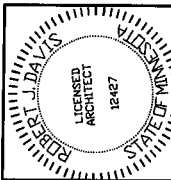
DETAIL	DETAIL DESCRIPTION
SLAB	SLAB ON GRADE GROUNDING
T1.1	TEST WELL DETAIL, GROUND RINGS & ROD DETAIL
T1.3	REBAR GROUNDING DETAIL
T1.4	CONDUIT DETAIL
T1.5	TYPICAL GROUNDING CABLE BRIDGE DETAIL
T1.6	TYPICAL TOWER GROUNDING DETAIL

MIN. 150'-0" RADIAL BURIED ALONG ACCESS DRIVEWAY

NOTE:
CONTRACTOR MAY USE A SAND POINT MOUNTED ON THE END OF 3/4" DIA. GROUND RODS. THE LENGTH OF THE SAND POINT SHALL NOT BE COINED AS PART OF THE 30'-0" GROUND ROD.



NOTE:
CONTRACTOR SHALL ENSURE THAT EACH WHP IS GROUNDING PLAN SPACED AT LEAST 12' FROM EACH OTHER AND BENDS SHALL NOT BE LESS THAN 12' RADII



I hereby certify that this plan, specification and report were prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the state of MINNESOTA. REGISTRATION NO. 12427, Exp. No. 1/1/27

Robert J. Davy
 SIGNATURE
 08/01/2019
 DATE

DESIGN
 9773 VALLEY VIEW RD.
 EDEN PRairie, MN 55344
 WWW.DESIGN18P.COM

verizon
 10801 BUSH LAKE ROAD
 BLOOMINGTON, MN 55438
 (612) 346-4700

PROJECT
 20171611671
 LOC. CODE: 457290

MIN05
 PONSFORD

COUNTY HWY 44
 PONSFORD, MN 56575

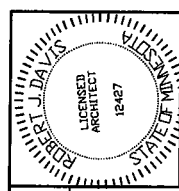
SHEET CONTENTS:
 GROUNDING PLAN
 GROUNDING DETAIL INDEX

DRAWN BY:	MSG/JP
DATE:	11-10-17
CHECKED BY:	BMS
REV. A:	01-04-18
REV. B:	06-25-18
REV. C:	09-20-19

G-2



1 GROUNDING PLAN
 SCALE: NTS



I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the State of Minnesota, Registration No. 12427, Exp. 10/1/2019.

Robert J. Davis
 SUPV.
 08/10/2019
 DATE



verizon
 10601 BUSH LAKE ROAD
 BLOOMINGTON, MN 55438
 (952) 844-6700

PROJECT
 20171617871
 LOC. CODE: 457290

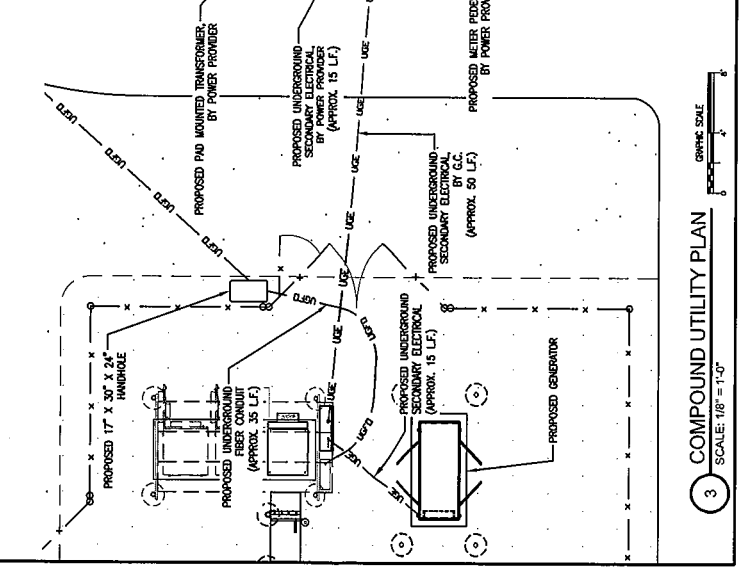
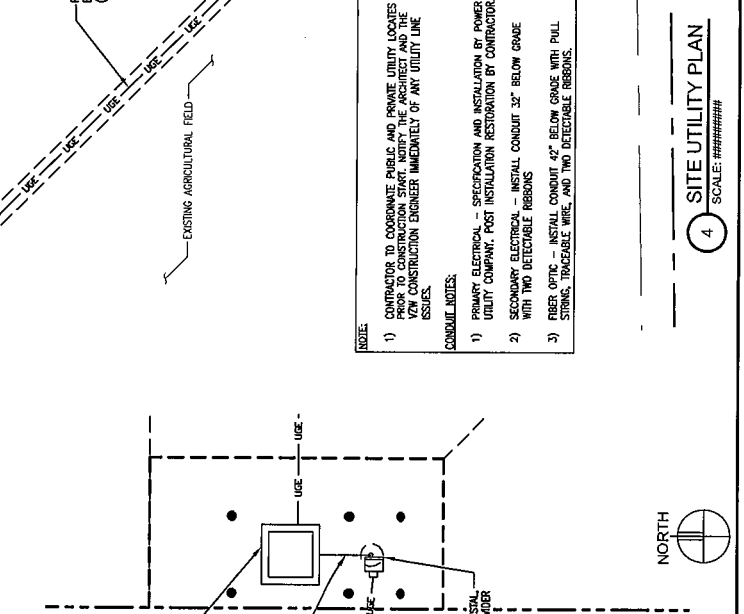
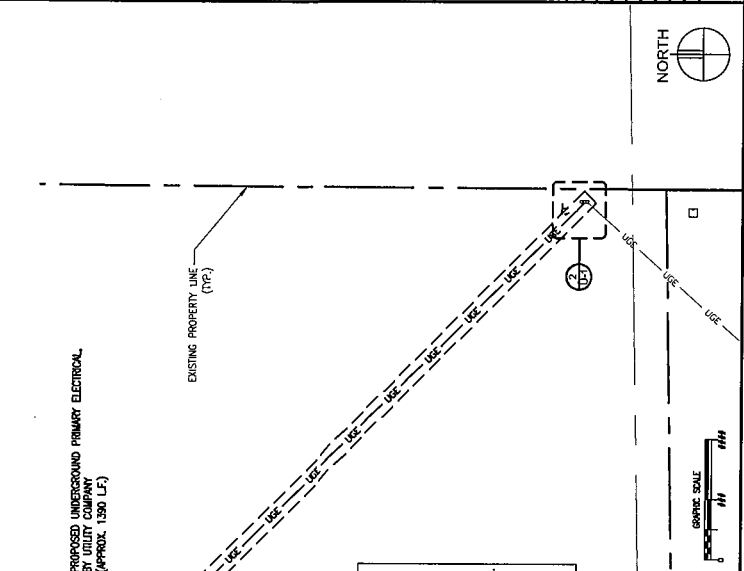
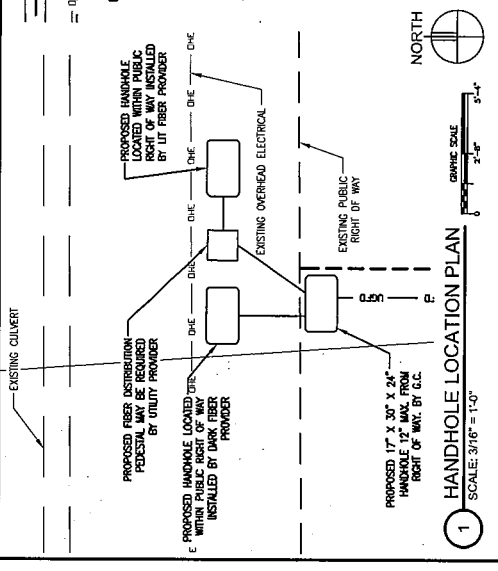
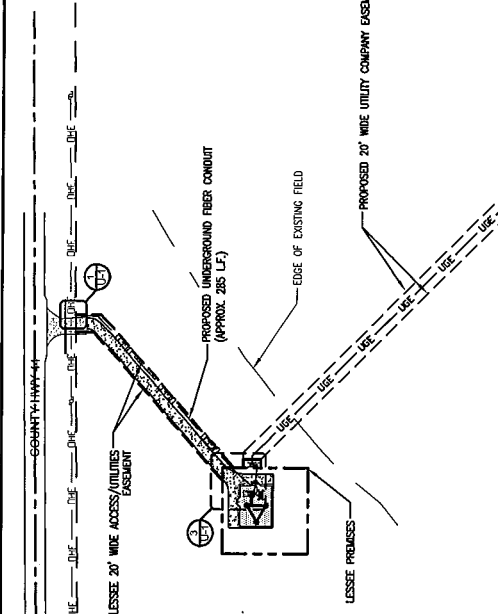
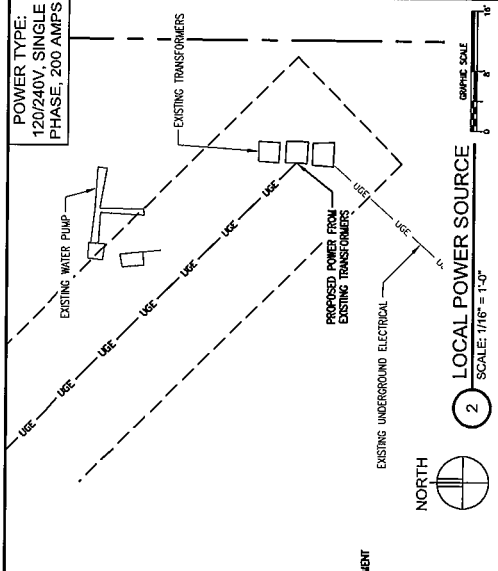
MIN05
 PONSFORD

COUNTY HWY 44
 PONSFORD, MN 55875

SHEET CONTENTS:
 SITE UTILITY PLAN
 HANDHOLE LOCATION PLAN
 COMPOUND UTILITY PLAN

DRAWN BY:	MSG/JJP
DATE:	11-10-17
CHECKED BY:	BMS
REV. A:	01-04-18
REV. B:	08-05-18
REV. C:	08-01-19

U-1



NOTE:

- CONTRACTOR TO COORDINATE PUBLIC AND PRIVATE UTILITY LOCATES PRIOR TO CONSTRUCTION. CONTRACTOR TO NOTIFY THE VZW CONSTRUCTION ENGINEER IMMEDIATELY OF ANY UTILITY LINE ISSUES.
- PRIMARY ELECTRICAL - SPECIFICATION AND INSTALLATION BY POWER UTILITY COMPANY. POST INSTALLATION RESTORATION BY CONTRACTOR.
- SECONDARY ELECTRICAL - INSTALL CONDUIT 32" BELOW GRADE WITH TWO DETECTABLE RIBBONS.
- FIBER OPTIC - INSTALL CONDUIT 42" BELOW GRADE WITH PHIL STING, TRACEABLE WIRE, AND TWO DETECTABLE RIBBONS.

CONDUIT NOTES:

4 SITE UTILITY PLAN
 SCALE: #/16" = #'-0"

3 COMPOUND UTILITY PLAN
 SCALE: 1/8" = 1'-0"

1 HANDHOLE LOCATION PLAN
 SCALE: 3/16" = 1'-0"

2 LOCAL POWER SOURCE
 SCALE: 1/16" = 1'-0"

SITE SURVEY

PROPERTY DESCRIPTION: (Per U.S. Title Solutions File No. 88547-MN710-5030, effective date October 28, 2017.)

The North Half of the West Half of the Northwest Quarter (NW/2 NW/4), Section Three (3), Township One Hundred Forty (-40), Range Thirty-seven(37), Cassville Township, Becker County, consisting of approximately 38.86 acres.

SCHEDULE "B" EXHIBITS: (Per U.S. Title Solutions File No. 88547-MN710-5030, effective date October 28, 2017.)

- 1-8.) Not related to the survey.
- 7.) Easement by Steven F. Lymburner and Leah M. Lymburner, husband and wife to Great River Energy, recorded 7/17/2019 in instrument No. 1807498. This document describes an 87' wide easement for utility purposes. This easement does effect the 20' wide access and utilities easement. This easement is as shown on the survey.
- 8.) County Auditor's Certificate Executed Pursuant to Subdivision (1) of Section 6, Chapter 278 Laws of 1935 recorded 8/8/1974 in book 251 page 573. This document is not related to the survey.
- 9.) Affidavit between Margaret Tonkinson dated 12/22/1992 recorded 12/23/1992 in book 121 page 598. This document is not related to the survey.

PREMISES DESCRIPTION:

The North Half of the West Half of the West Half of the Northwest Quarter of Section 3, Township 140 North, Range 37 West of the Fifth Principal Meridian, Becker County, Minnesota, contained as follows:
 Commencing at the northwest corner of said North Half of the West Half of the Northwest North Half of the West Half of the Northwest Quarter, a distance of 227.41 feet; thence South 0 degrees 30 minutes 28 seconds East, a distance of 220.50 feet to the Point of Beginning of said North Half of the West Half of the Northwest North Half of the West Half of the Northwest Quarter, a distance of 100.00 feet; thence South 0 degrees 00 minutes 00 seconds West, a distance of 100.00 feet; thence North 0 degrees 00 minutes 00 seconds East, a distance of 100.00 feet to the Point of Beginning.

ACCESS AND UTILITIES EASEMENT DESCRIPTION:

A 20.00 foot wide easement for ingress, egress and utility purposes over, under and across the North Half of the West Half of the Northwest Quarter of Section 3, Township 140 North, Range 37 West of the Fifth Principal Meridian, Becker County, Minnesota, the centerline of said easement is described as follows:

Commencing at the northwest corner of said North Half of the West Half of the Northwest North Half of the West Half of the Northwest Quarter, a distance of 227.41 feet; thence South 0 degrees 30 minutes 28 seconds East, a distance of 220.50 feet; thence South 90 degrees 00 minutes 00 seconds East, a distance of 100.00 feet to the Point of Beginning; thence South 0 degrees 00 minutes 00 seconds East, a distance of 222.58 feet; thence South 0 degrees 00 minutes 00 seconds East, a distance of 100.00 feet to the south right of way line of County State Aid Highway Number 44 and said centerline there terminating.

The side/sides of said easement shall be shortened or lengthened to terminate at said south right of way line of County State Aid Highway Number 44 and at lines bearing North 30 degrees 00 minutes 00 seconds West and South 0 degrees 00 minutes 00 seconds West from the Point of Beginning.

UTILITIES EASEMENT DESCRIPTION:

A 20.00 foot wide easement for utility purposes over, under and across the North Half of the West Half of the West Half of the Northwest Quarter of Section 3, Township 140 North, Range 37 West of the Fifth Principal Meridian, Becker County, Minnesota, the centerline of said easement is described as follows:

Commencing at the northwest corner of said North Half of the West Half of the Northwest North Half of the West Half of the Northwest Quarter, a distance of 227.41 feet; thence South 0 degrees 30 minutes 28 seconds East, a distance of 220.50 feet; thence South 90 degrees 00 minutes 00 seconds East, a distance of 100.00 feet to the Point of Beginning; thence South 0 degrees 00 minutes 00 seconds East, a distance of 222.58 feet; thence South 0 degrees 00 minutes 00 seconds East, a distance of 100.00 feet to the south right of way line of County State Aid Highway Number 44 and said centerline there terminating.

UTILITY COMPANY EASEMENT DESCRIPTION:

A 20.00 foot wide easement for utility purposes over, under and across the North Half of the West Half of the West Half of the Northwest Quarter of Section 3, Township 140 North, Range 37 West of the Fifth Principal Meridian, Becker County, Minnesota, the centerline of said easement is described as follows:

Commencing at the northwest corner of said North Half of the West Half of the Northwest North Half of the West Half of the Northwest Quarter, thence North 89 degrees 29 minutes 32 seconds East along the North line of said North Half of the West Half of the Northwest North Half of the West Half of the Northwest Quarter, 30 minutes 28 seconds East, a distance of 220.50 feet; thence South 90 degrees 00 minutes 00 seconds East, a distance of 100.00 feet to the Point of Beginning; thence South 0 degrees 00 minutes 00 seconds West, a distance of 34.83 feet to the Point of Beginning of the centerline to be surveyed; thence South 90 degrees 00 minutes 00 seconds East, a distance of 14.18 feet; thence North 89 degrees 29 minutes 32 seconds East, a distance of 138.027 feet and said centerline there terminating.



SITE NAME:
 MN05 PONSFORD
 Becker County, MN

No.	Date	Revisions

FIELD WORKS: 12/17/17
 CHECKED BY: SMK
 DRAWN BY: JF8/ABM
 By: CHK (APP) JF8/ABM

I HEREBY CERTIFY THAT THIS DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A LICENSED PROFESSIONAL SURVEYOR UNDER THE LAWS OF THE STATE OF MINNESOTA.

SIGNATURE: *[Signature]*
 DATE: 6/15/18
 LICENSE # 49201

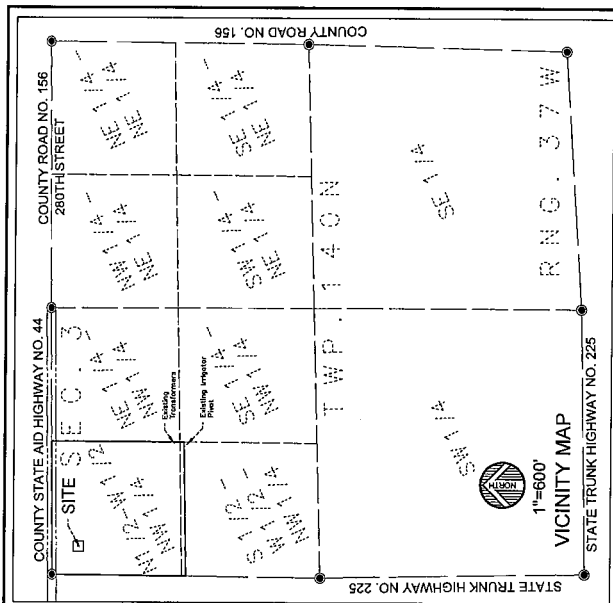
MINNESOTA SURVEYORS' ASSOCIATION
 LICENSE # 06844832301

© 2018 WIDSETH SMITH NOLTING

WIDSETH SMITH NOLTING
 Engineering | Architecture | Surveying | Environmental

SHEET 1 OF 2 SHEETS

SITE SURVEY

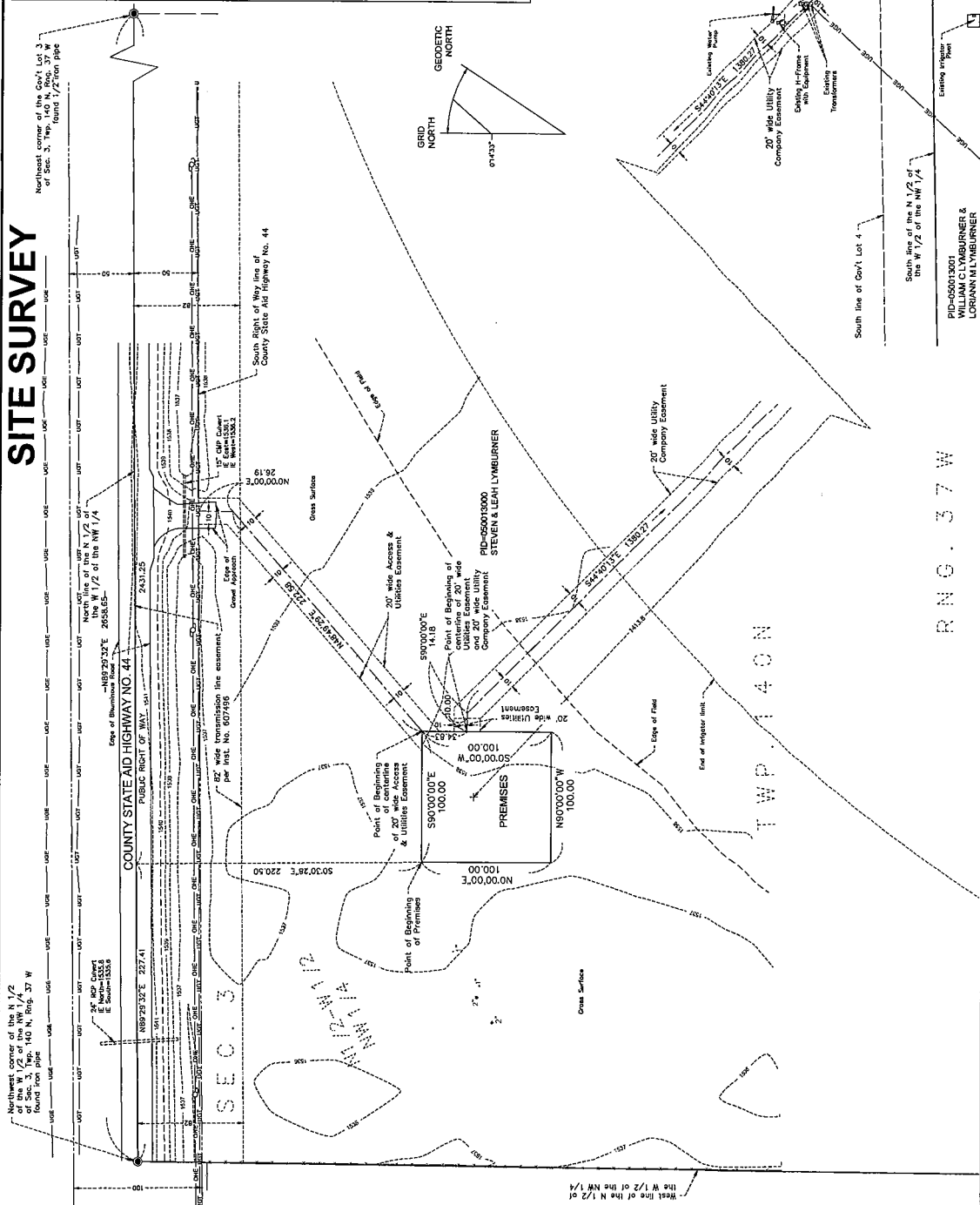


- ### LEGEND
- ELEC POLE
 - FENCE BARS WIRE
 - UNDERGROUND ELECTRIC
 - OVERHEAD ELECTRIC
 - UNDERGROUND TELE
 - OVERHEAD TELE
 - PREMISES
 - EASEMENT LINE
 - CENTERLINE
 - BOUNDARY LINE
 - RIGHT-OF-WAY LINE
 - QUARTER LINE
 - SIXTEENTH LINE
 - GRAVEL SURFACE



SURVEYOR NOTES:

- UTILITIES are per observed evidence, and markings per Gopher State ONE CALL Locate Request Ticket Nos. 173341823 & 173541822, dated November 30, 2017 and Ticket Nos. 180855236 & 180855237 dated March 26, 2018.
- The Proposed Premises together with all Access and UTILITIES Easements are within the corner of the property description contained herein.



SITE NAME:
MN05 PONSFORD
Becker County, MN

DESIGN 1

WIDSETH SMITH NOLTING
Engineering | Architecture | Surveying | Environmental

SHEET 2 OF 2 SHEETS

REVISIONS

No.	Date	By	CRK	JPD

CHECKED BY: SMK | DRAWN BY: JPD/MS

SIGNATURE: *William C. Lyburner*
DATE: 6/15/18
LICENSE # 49221

PROPERTY CERTIFICATE: THIS DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND I AM A LICENSED SURVEYOR UNDER THE LAWS OF THE STATE OF MINNESOTA.

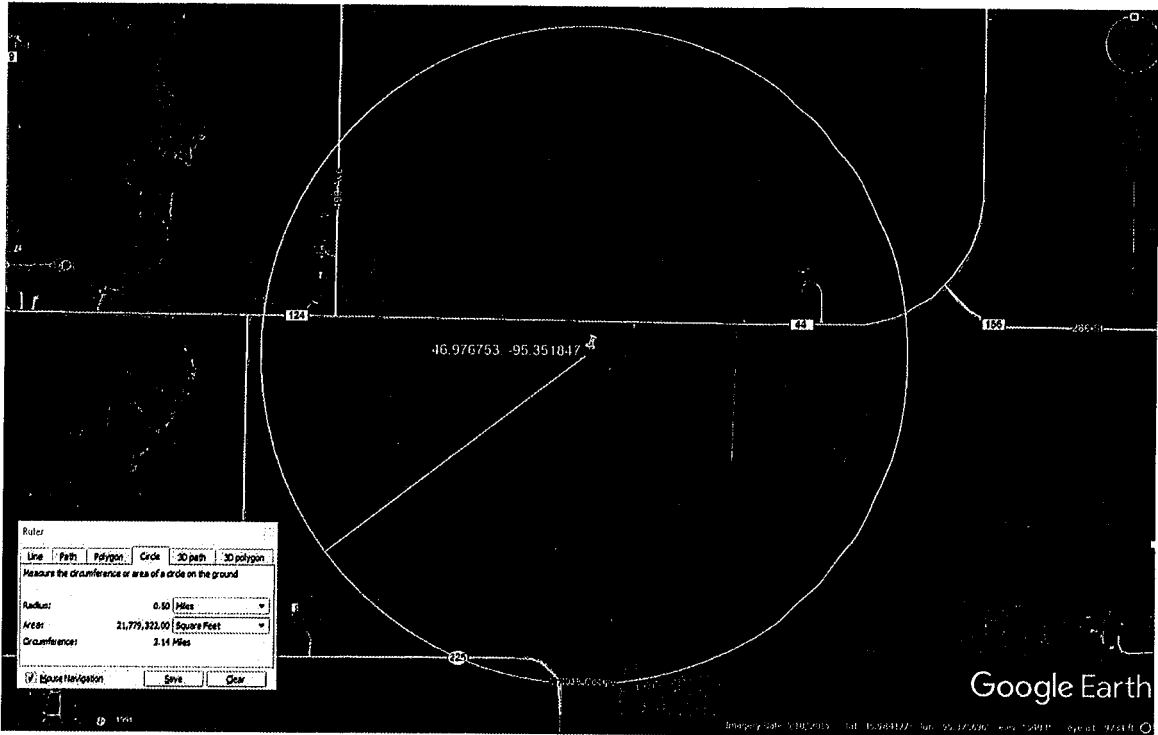
PROJECT INFO:
PID-050012000
STEVEN & LEAH LYMBURNER



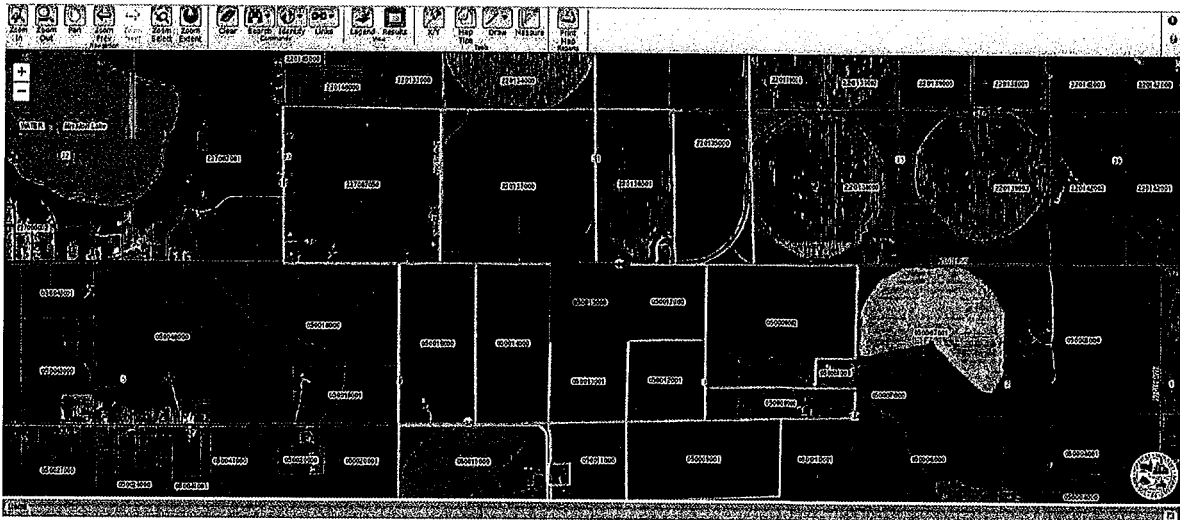
NTP Wireless could not locate a land use map online of Becker County. Every parcel within a ½ mile of Verizon's proposed tower installation is listed below with the current land use.

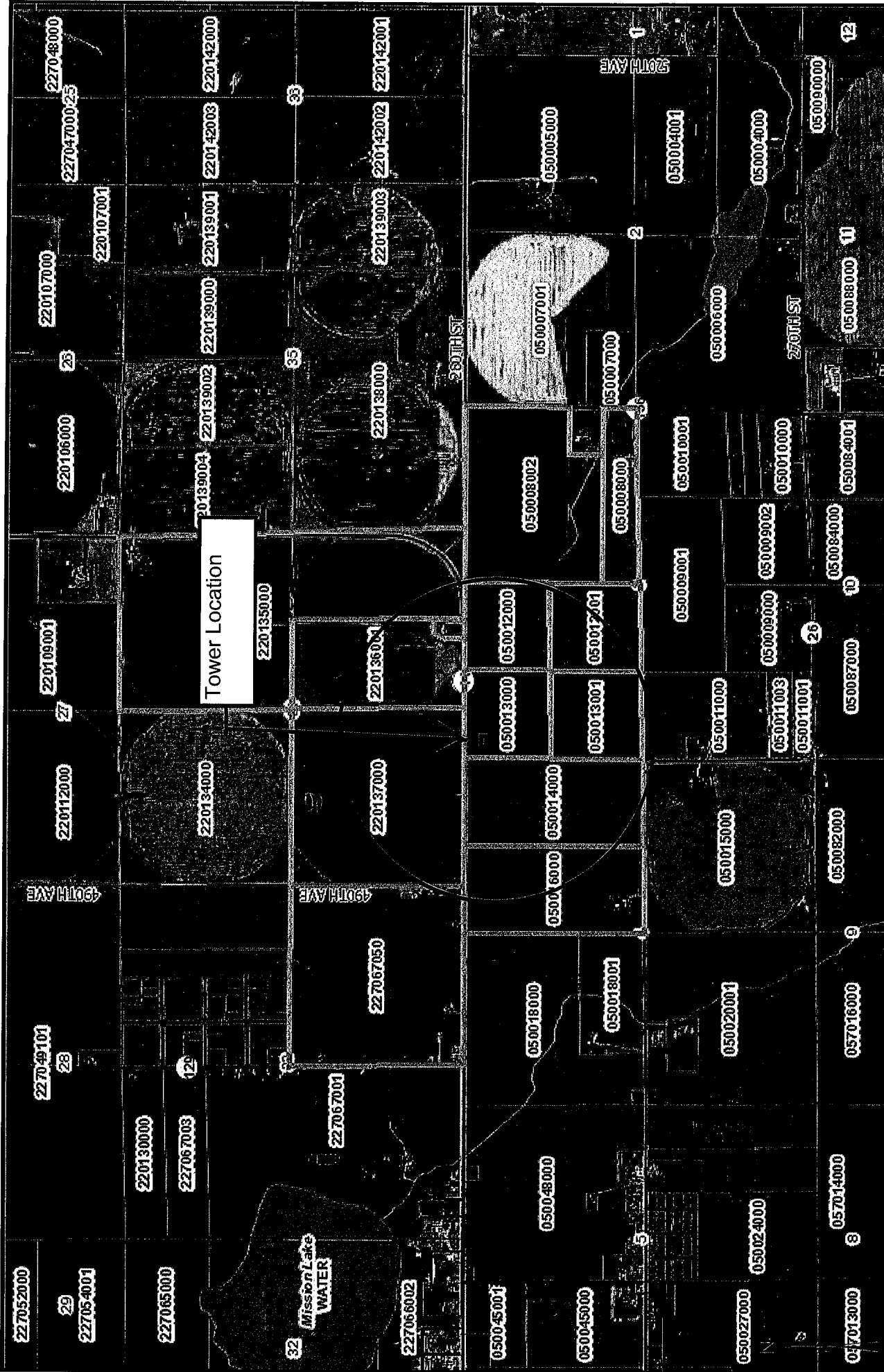
- 220137000 – Agriculture
- 050013000 – Subject Parcel / Agriculture
- 050008000 – Residential / Agriculture
- 227067050 – Residential / Agriculture
- 050008002 – Agriculture
- 050012001 – Forest Land
- 050013001 – Agriculture
- 050014000 – Agriculture
- 050016000 – Residential / Agriculture
- 050015000 – Residential / Agriculture
- 220136001 – Agriculture
- 220136000 – Agriculture
- 050012000 – Agriculture
- 220135000 – Agriculture
- 050011000 – Agriculture

1/2 mile search radius from Verizons propoed tower location



Becker County parcel information map to demonstrate a land use per parcel within a 1/2 of Verizon's proposed tower location.





Tower Location

These data are provided on an "AS-IS" basis, without warranty of any type, expressed or implied, including but not limited to any warranty as to their performance, merchantability, or fitness for any particular purpose.

Land Owners within 1/2 mile

1:33,802

Date: 6/19/2019

Becker County





CERTIFICATE OF LIABILITY INSURANCE

DATE(MM/DD/YYYY)
08/21/2019

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must have ADDITIONAL INSURED provisions or be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

PRODUCER Aon Risk Services Northeast, Inc. New York NY Office One Liberty Plaza 165 Broadway, Suite 3201 New York NY 10006 USA	CONTACT NAME: PHONE (A/C. No. Ext): (866) 283-7122 FAX (A/C. No.): (800) 363-0105		
	E-MAIL ADDRESS:		
INSURED Verizon Wireless, LLC 1095 Avenue of the Americas New York NY 10036 USA	INSURER(S) AFFORDING COVERAGE		NAIC #
	INSURER A: National Union Fire Ins Co of Pittsburgh		19445
	INSURER B:		
	INSURER C:		
	INSURER D:		
	INSURER E:		

COVERAGES **CERTIFICATE NUMBER:** 570077911032 **REVISION NUMBER:**

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS. Limits shown are as requested

INSR LTR	TYPE OF INSURANCE	ADDL INSD	SUBR WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS
A	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR <input checked="" type="checkbox"/> XCU Coverage is Included GEN'L AGGREGATE LIMIT APPLIES PER: <input checked="" type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC <input type="checkbox"/> OTHER:			GL6412251	06/30/2019	06/30/2020	EACH OCCURRENCE \$1,000,000 DAMAGE TO RENTED PREMISES (Ea occurrence) \$2,000,000 MED EXP (Any one person) \$10,000 PERSONAL & ADV INJURY \$1,000,000 GENERAL AGGREGATE \$2,000,000 PRODUCTS - COMP/OP AGG \$2,000,000
	AUTOMOBILE LIABILITY <input type="checkbox"/> ANY AUTO <input type="checkbox"/> OWNED AUTOS ONLY <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRED AUTOS ONLY <input type="checkbox"/> NON-OWNED AUTOS ONLY						COMBINED SINGLE LIMIT (Ea accident) BODILY INJURY (Per person) BODILY INJURY (Per accident) PROPERTY DAMAGE (Per accident)
	<input type="checkbox"/> UMBRELLA LIAB <input type="checkbox"/> OCCUR <input type="checkbox"/> EXCESS LIAB <input type="checkbox"/> CLAIMS-MADE <input type="checkbox"/> DED <input type="checkbox"/> RETENTION						EACH OCCURRENCE AGGREGATE
	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR / PARTNER / EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NH) If yes, describe under DESCRIPTION OF OPERATIONS below	Y/N	N/A				<input type="checkbox"/> PER STATUTE <input type="checkbox"/> OTH-ER E.L. EACH ACCIDENT E.L. DISEASE-EA EMPLOYEE E.L. DISEASE-POLICY LIMIT

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (ACORD 101, Additional Remarks Schedule, may be attached if more space is required)
 Named Insured Includes: Verizon Wireless (VZW) LLC d/b/a Verizon Wireless, One Verizon Way, Mail Stop 4AW100, Basking Ridge, NJ 07920. RE: Tenant Number: 00014317. Cell Site: MN05 Ponsford. Location code: 457290. Becker County Planning and Zoning, and it's officers, Boards, employees, committee members, attorneys, agents and consultants are included as an Additional Insured with respect to the General Liability policy.

CERTIFICATE HOLDER Becker County Planning and Zoning 915 Lake Ave Attn: Kyle Vareberg, Administrator Detroit Lakes MN 56501 USA	CANCELLATION SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS. AUTHORIZED REPRESENTATIVE <i>Aon Risk Services Northeast, Inc.</i>
--	--

Holder Identifier :

Certificate No : 570077911032



June 20th, 2019

RE: Compliance with Becker County Zoning Code Section 18 (4.), Future co-location agreemtn for Verizon's proposed tower Installation on County Highway 44 in Ponsford MN. (MN05 Ponsford)

4. Future co-location agreement. A commitment in writing from the applicant committing the applicant and its successors to allow the shared use of the tower facility if an additional user agrees in writing to meet reasonable industry terms and conditions for shared use.

Dear Department of Zoning,

Verizon Wireless is agreeable to allow additional carriers to co-locate on the tower facility. Co-location options for additional uses is demonstrated in the site plan attached as exhibit A.

Sincerely,

Cynthia Shuck

Cynthia Shuck

Verizon

Engineer IV Real Estate

Great Plains Real Estate

O 320 808 2183

M 507 514 0416

verizon^v

* Federal Airways & Airspace *
* Summary Report: New Construction *
* Antenna Structure *

Airspace User: Eric Norman

File: MN05_PONSFORD

Location: Wolf Lake, MN

Latitude: 46°-58'-36.36" Longitude: 95°-21'-4.38"

SITE ELEVATION AMSL.....1538 ft.
STRUCTURE HEIGHT.....199 ft.
OVERALL HEIGHT AMSL.....1737 ft.
SURVEY HEIGHT AMSL.....1737 ft.

NOTICE CRITERIA

- FAR 77.9(a): NNR (DNE 200 ft AGL)
- FAR 77.9(b): NNR (DNE Notice Slope)
- FAR 77.9(c): NNR (Not a Traverse Way)
- FAR 77.9: NNR FAR 77.9 IFR Straight-In Notice Criteria for PKD
- FAR 77.9(d): NNR (Off Airport Construction)

NR = Notice Required

NNR = Notice Not Required

PNR = Possible Notice Required (depends upon actual IFR procedure)

For new construction review Air Navigation Facilities at bottom of this report.

Notice to the FAA is not required at the analyzed location and height for slope, height or Straight-In procedures. Please review the 'Air Navigation' section for notice requirements for offset IFR procedures and EMI.

OBSTRUCTION STANDARDS

- FAR 77.17(a)(1): DNE 499 ft AGL
- FAR 77.17(a)(2): DNE - Airport Surface
- FAR 77.19(a): DNE - Horizontal Surface
- FAR 77.19(b): DNE - Conical Surface
- FAR 77.19(c): DNE - Primary Surface
- FAR 77.19(d): DNE - Approach Surface
- FAR 77.19(e): DNE - Approach Transitional Surface
- FAR 77.19(e): DNE - Abeam Transitional Surface

VFR TRAFFIC PATTERN AIRSPACE FOR: PKD: PARK RAPIDS MUNI-KONSHOK FIE

Type: A RD: 71235.32 RE: 1446

- FAR 77.17(a)(1): DNE
- FAR 77.17(a)(2): DNE - Greater Than 5.99 NM.
- VFR Horizontal Surface: DNE
- VFR Conical Surface: DNE
- VFR Primary Surface: DNE
- VFR Approach Surface: DNE
- VFR Transitional Surface: DNE

VFR TRAFFIC PATTERN AIRSPACE FOR: M49: JOLLY FISHERMAN

Type: S RD: 1000000 RE: 0

FAR 77.17(a)(1): DNE
 FAR 77.17(a)(2): DNE - Greater Than 5.99 NM.
 VFR Horizontal Surface: DNE
 VFR Conical Surface: DNE
 VFR Primary Surface: DNE
 VFR Approach Surface: DNE
 VFR Transitional Surface: DNE

TERPS DEPARTURE PROCEDURE (FAA Order 8260.3, Volume 4)

FAR 77.17(a)(3) Departure Surface Criteria (40:1)
 DNE Departure Surface

MINIMUM OBSTACLE CLEARANCE ALTITUDE (MOCA)

FAR 77.17(a)(4) MOCA Altitude Enroute Criteria
 The Maximum Height Permitted is 2200 ft AMSL

PRIVATE LANDING FACILITIES

FACIL IDENT TYP NAME	BEARING To FACIL	RANGE IN NM	DELTA ARP ELEVATION	FAA IFR
6MNO AIR ROONEY AIRFIELD	328.08	5.57	+117	

No Impact to VFR Transitional Surface.
 Below surface height of 457 ft above ARP.

AIR NAVIGATION ELECTRONIC FACILITIES

FAC	ST	DIST	DELTA	GRND
IDNT	TYPE	AT	FREQ VECTOR (ft)	ELEVA ST LOCATION
PKD	VOR/DME	I	110.6 112.37 75677	+296 MN PARK RAPIDS
DTL	VOR/DME	I	111.2 247.43 144930	+352 MN DETROIT LAKES

CFR Title 47, §1.30000-§1.30004

AM STUDY NOT REQUIRED: Structure is not near a FCC licensed AM station.
 Movement Method Proof as specified in §73.151(c) is not required.
 Please review 'AM Station Report' for details.

No AM Stations were located within 3.0 km.

Airspace® Summary Version 18.1.494

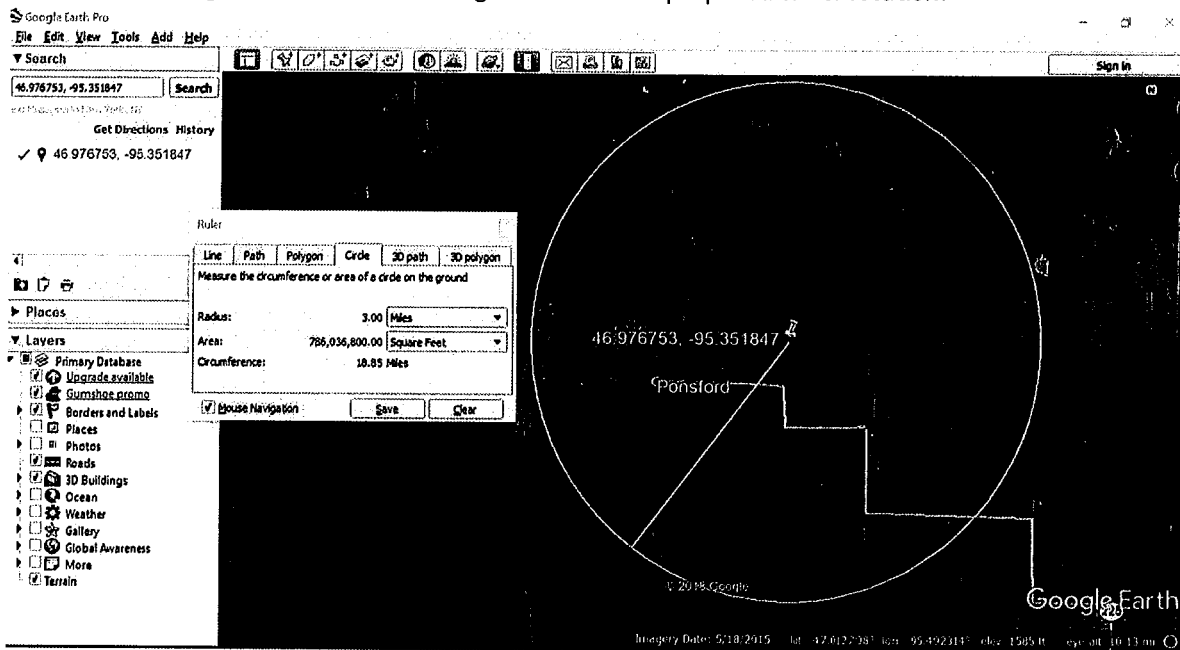
AIRSPACE® and TERPS® are registered ® trademarks of Federal Airways & Airspace®
 Copyright © 1989 - 2018

03-05-2018
 09:26:26

No Towers within a 3 mile radius

NTP has extensively researched all the land inside the google earth shown 3 mile search radius. It has been verified via this aerial search that there are no existing structures for Verizon for the co-location their equipment. The closest structure is a 300' guyed tower 6.6 miles to the southeast of Verizon's proposed tower location. Co-location has been verified as unviable for Verizon's network requirements.

Google Earth image of a 3 mile search ring from Verizon's proposed tower location.



Crown Castle Website shoes the closet guyed tower at 6.6 miles to the southeast.



Crown Castle is showing a ATC rooftop managed site at 14' in height.



TOWER / STRUCTURE / ANTENNA/ EQUIPMENT REMOVAL BOND

Bond # K15466364

Site Name: MN05 Ponsford

Site Location: County Hwy 44, Ponsford, MN 56575

Verizon Project #: 2017161767

Verizon Tower Location Code: 457290

KNOW ALL MEN BY THESE PRESENTS, THAT, Verizon Wireless (VAW), LLC, as Principal, and Westchester Fire Insurance Company, a corporation duly organized under the laws of the State of Pennsylvania, as Surety, are held and firmly bound unto Becker County, 915 Lake Avenue, Detroit Lakes, MN 56501, as Obligee, in the sum of Thirty Thousand and 00/100 Dollars (\$30,000.00) lawful money of the United States, for the payment of which, well and truly to be made, we bind ourselves, our heirs, executors, administrators, successors and assigns, jointly and severally, firmly by these presents, the liability of the Surety being limited to the penal sum of this bond regardless of the number of years the bond is in effect.

WHEREAS the Principal has entered into a written agreement with the property owner for the placement of a tower(s), structure(s), antenna(s), and/or equipment furnishing telephone, television or other electronic media service, which agreement sets forth the terms and conditions which govern the use of such tower(s), structure(s), antenna(s), and/or equipment and which agreement is hereby specifically referred to and made part hereof, and

WHEREAS, the Obligee requires the submission of a bond guaranteeing the maintenance, replacement, removal or relocation of said tower(s), structure(s), antenna(s), and/or equipment.

NOW THEREFORE, the condition of this obligation is such, that if the above bounden Principal shall perform in accordance with the aforesaid ordinance and/or agreement, and indemnify the Obligee against all loss caused by Principal's breach of any ordinance or agreement relating to maintenance, replacement, removal or relocation of a tower(s), structure(s), antenna(s), and/or equipment, then this obligation shall be void, otherwise to remain in full force and effect unless cancelled as set forth below.

THIS BOND may be cancelled by Surety by giving thirty (30) days written notice to the Obligee by certified mail. Such cancellation shall not affect any liability the Surety may have or incurred under this bond prior to the effective date of the termination. Provided that no action, suit or proceeding shall be maintained against the Surety on this bond unless action is brought within twelve (12) months of the cancellation date of this bond.

THIS BOND signed, sealed, dated on the 22nd day of August, 2019. This bond is effective the 15th day of August, 2019.

Verizon Wireless (VAW), LLC
Principal

By: _____

Rommel Angeles
Director, Network Engineering
Westchester Fire Insurance Company

By: _____

Leah L. Juenger, Attorney-In-Fact

Surety

CHUBB

Power of Attorney

Westchester Fire Insurance Company | ACE American Insurance Company

Know All by These Presents, that WESTCHESTER FIRE INSURANCE COMPANY and ACE AMERICAN INSURANCE COMPANY corporations of the Commonwealth of Pennsylvania, do each hereby constitute and appoint Pamela A. Beelman, Cynthia L. Choren, Brittany D. Stuckel, JoAnn R. Frank, Sandra L. Ham, Leah L. Juenger, Heidi A. Notheisen, Karen L. Roider and Debra C. Schneider of St. Louis, Missouri

each as their true and lawful Attorney-in-Fact to execute under such designation in their names and to affix their corporate seals to and deliver for and on their behalf as surety thereon or otherwise, bonds and undertakings and other writings obligatory in the nature thereof (other than bail bonds) given or executed in the course of business, and any instruments amending or altering the same, and consents to the modification or alteration of any instrument referred to in said bonds or obligations.

In Witness Whereof, WESTCHESTER FIRE INSURANCE COMPANY and ACE AMERICAN INSURANCE COMPANY have each executed and attested these presents and affixed their corporate seals on this 22nd day of July, 2019.

Dawn M. Chloros

Dawn M. Chloros, Assistant Secretary

Stephen M. Haney

Stephen M. Haney, Vice President



STATE OF NEW JERSEY

County of Hunterdon ss.

On this 22nd day of July, 2019, before me, a Notary Public of New Jersey, personally came Dawn M. Chloros, to me known to be Assistant Secretary of WESTCHESTER FIRE INSURANCE COMPANY and ACE AMERICAN INSURANCE COMPANY, the companies which executed the foregoing Power of Attorney, and the said Dawn M. Chloros, being by me duly sworn, did depose and say that she is Assistant Secretary of WESTCHESTER FIRE INSURANCE COMPANY and ACE AMERICAN INSURANCE COMPANY and knows the corporate seals thereof, that the seals affixed to the foregoing Power of Attorney are such corporate seals and were thereto affixed by authority of said Companies; and that she signed said Power of Attorney as Assistant Secretary of said Companies by like authority; and that she is acquainted with Stephen M. Haney, and knows him to be Vice President of said Companies; and that the signature of Stephen M. Haney, subscribed to said Power of Attorney is in the genuine handwriting of Stephen M. Haney, and was thereto subscribed by authority of said Companies and in deponent's presence.

Notarial Seal



ROSE CURTIS
NOTARY PUBLIC OF NEW JERSEY
No. 50072400
Commission Expires November 22, 2022

Rose Curtis
Notary Public

CERTIFICATION

Resolutions adopted by the Boards of Directors of WESTCHESTER FIRE INSURANCE COMPANY on December 11, 2006; ACE AMERICAN INSURANCE COMPANY on March 20, 2009:

"RESOLVED, that the following authorizations relate to the execution, for and on behalf of the Company, of bonds, undertakings, recognizances, contracts and other written commitments of the Company entered into in the ordinary course of business (each a "Written Commitment"):

- (1) Each of the Chairman, the President and the Vice Presidents of the Company is hereby authorized to execute any Written Commitment for and on behalf of the Company, under the seal of the Company or otherwise.
- (2) Each duly appointed attorney-in-fact of the Company is hereby authorized to execute any Written Commitment for and on behalf of the Company, under the seal of the Company or otherwise, to the extent that such action is authorized by the grant of powers provided for in such person's written appointment as such attorney-in-fact.
- (3) Each of the Chairman, the President and the Vice Presidents of the Company is hereby authorized, for and on behalf of the Company, to appoint in writing any person the attorney-in-fact of the Company with full power and authority to execute, for and on behalf of the Company, under the seal of the Company or otherwise, such Written Commitments of the Company as may be specified in such written appointment, which specification may be by general type or class of Written Commitments or by specification of one or more particular Written Commitments.
- (4) Each of the Chairman, the President and the Vice Presidents of the Company is hereby authorized, for and on behalf of the Company, to delegate in writing to any other officer of the Company the authority to execute, for and on behalf of the Company, under the Company's seal or otherwise, such Written Commitments of the Company as are specified in such written delegation, which specification may be by general type or class of Written Commitments or by specification of one or more particular Written Commitments.
- (5) The signature of any officer or other person executing any Written Commitment or appointment or delegation pursuant to this Resolution, and the seal of the Company, may be affixed by facsimile on such Written Commitment or written appointment or delegation.

FURTHER RESOLVED, that the foregoing Resolution shall not be deemed to be an exclusive statement of the powers and authority of officers, employees and other persons to act for and on behalf of the Company, and such Resolution shall not limit or otherwise affect the exercise of any such power or authority otherwise validly granted or vested."

I, Dawn M. Chloros, Assistant Secretary of WESTCHESTER FIRE INSURANCE COMPANY and ACE AMERICAN INSURANCE COMPANY (the "Companies") do hereby certify that

- (i) the foregoing Resolutions adopted by the Board of Directors of the Companies are true, correct and in full force and effect,
- (ii) the foregoing Power of Attorney is true, correct and in full force and effect.

Given under my hand and seals of said Companies at Whitehouse Station, NJ, this 22nd day of August, 2019



Dawn M. Chloros

Dawn M. Chloros, Assistant Secretary

IN THE EVENT YOU WISH TO VERIFY THE AUTHENTICITY OF THIS BOND OR NOTIFY US OF ANY OTHER MATTER, PLEASE CONTACT US AT:
Telephone (908) 903-3493 Fax (908) 903-3656 e-mail: surety@chubb.com

verizon NEPA SmartForm and
Exclusion Review

Clear Form Final 06/01/17

Site Name: MNO5 Ponsford Site City: Ponsford Site State: MN

Project Type: Raw Land-New Build Structure Type: Self-Support Structure Owner: VzW, VzW Managed

Project Description: Construct a 190' SS tower, attach antennas and related equipment, place equipment platform adjacent to tower, install access and utilities

VzW Responsible Employee: Marcia Wine Paine Form Completion Date: Mar 9, 2018

Blue indicates required field

Please respond to each question presented below. Your Exclusion Review Result will appear at the bottom of the form when your Exclusion Review is complete. If you are uncertain of any responses, please consult with your Real Estate or Engineering Teams to make sure you are responding correctly.

EXCLUSION REVIEW QUESTIONS	YES	NO
Is the site on tribal land?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Is the site on federal land?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Is the facility located in an existing tower farm?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Is the site in any type of ROW?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<i>Is the project within the boundaries of an historic property, such as an historic district?</i>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Is the site within 50' of any type of ROW?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Is the project less than 200' tall and within a 100,000 SF industrial/commercial/ shopping facility?	<input type="checkbox"/>	<input checked="" type="checkbox"/>

EXCLUSION REVIEW RESULT

Order a NEPA Report.
 No exclusions apply.

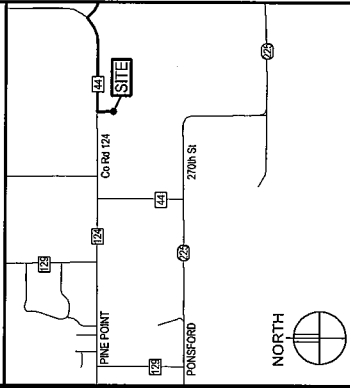


MN05 PONSFORD NEW BUILD

PROJECT INFORMATION

SITE NAME: MN05 PONSFORD
 COUNTY: HWY 44, PONSFORD, MN 56575
 BECKER
 COUNTY: N 46° 58' 36.56" (NAD83)
 LATITUDE: W 95° 21' 04.38" (NAD83)
 LONGITUDE: 07-10-19
 DRAWING BASED ON: IB
 SITE DATA FORM DATED: 100' X 100' = 10,000 S.F.
 CONSTRUCTION TYPE:
 SITE AREA:

VICINITY MAP



LOCATION SCAN



ISSUE SUMMARY

REV	DESCRIPTION	SHEET/DETAIL
A	ISSUED FOR REVIEW 01-04-18	ALL
B	ISSUED FOR OWNER SIGNOFF 06-05-18	ALL
C	NEW NETWORK STANDARD & SDF 09-01-19	ALL

SHEET INDEX

SHEET	SHEET DESCRIPTION
T-1	PROJECT INFORMATION, TOWER ELEVATION & SHEET INDEX
A-1	SITE PLAN & DETAIL INDEX
A-2	ENLARGED SITE PLAN
A-3	ANTENNA AND EQUIPMENT KEY, CABLE BRIDGE PLAN & NOTES
A-4	OUTLINE SPECIFICATIONS
G-1	GROUNDING NOTES
G-2	GROUNDING PLAN & GROUNDING DETAIL INDEX
U-1	SITE UTILITY PLANS & NOTES
-	SURVEY (2 SHEETS)

DEPARTMENTAL APPROVALS

JOB TITLE	NAME	DATE
RF ENGINEER	CHAD PERRY	01-08-18
OPERATIONS MANAGER	RONALD SIMMONS	02-02-18
CONSTRUCTION ENGINEER	MICHAEL THIEL	01-05-18

LESSOR / LICENSOR APPROVAL

SIGNATURE	PRINTED NAME	DATE

LESSOR / LICENSOR: PLEASE CHECK THE APPROPRIATE BOX BELOW.
 NO CHANGES. CHANGES NEEDED. SEE COMMENTS.

CONTACTS

LESSOR / LICENSOR: STEVEN & LEAH LYMBURNER
 1500 W. WINDY ROAD 156
 CASSAGE, MN 56575
 (218) 252-2107

LESSEE: VERIZON WIRELESS
 1000 VERIZON BLVD
 BLOOMINGTON, MN 55438
 CONSTRUCTION DEPT. (652) 946-4700

POWER UTILITY COMPANY CONTACT: ITASCA MANTRAP COOP
 16300 COUNTY 6
 PARK RAPIDS, MN 56470
 (218) 732-3377

TELCO UTILITY COMPANY CONTACT: ESTHER SIMON (218) 732-3377
 T.B.D.

ARCHITECT: DESIGN 1 ARCHITECTS LLC
 5973 VALLEY VIEW ROAD
 BLOOMINGTON, MN 55344
 (652) 803-6229

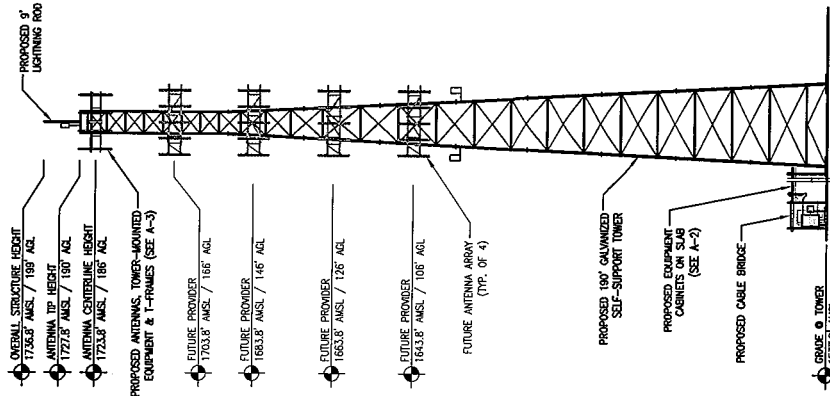
SURVEYOR: VERIZON WIRELESS SURVEYING
 610 FILLMORE STREET - PO BOX 1028
 ALEXANDRIA, MN 56308-1028
 3207-762-4148
 T.B.D.

STRUCTURAL ENGINEER: T.B.D.

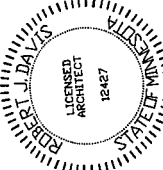
GEOTECHNICAL ENGINEER: T.B.D.

TOWER ELEVATION

NOTE:
 1) TOWER TO BE ERRECTED AND INSTALLED IN ACCORDANCE WITH TOWER MANUFACTURER'S DRAWINGS NOT INCLUDED WITH THIS PACKAGE. DISCREPANCIES BETWEEN THESE DRAWINGS AND ARCHITECTURAL DRAWINGS TO BE REPORTED TO VERIZON WIRELESS AND THE ARCHITECT IMMEDIATELY.
 2) TOWER FOUNDATION, EQUIPMENT CABINET SLAB, GENERATOR FOUNDATION AND THE ACCESS DOKE TO BE EXCAVATED AND CONSTRUCTED IN ACCORDANCE WITH THE ARCHITECT'S DRAWINGS. THE GEOTECHNICAL REPORT WHICH IS NOT INCLUDED IN THIS PACKAGE DISCUSSES THE FOUNDATION AND THE OTHER DOCUMENTS TO BE IMMEDIATELY REPORTED TO VERIZON WIRELESS AND THE ARCHITECT.
 3) CONTRACTOR TO ENSURE TIP OF ANTENNAS DO NOT EXCEED TOWER HEIGHT.



1 SCALE: 1" = 30'



I hereby certify that this plan, prepared by me or under my direct supervision, is a true and correct copy of the original as filed with the State of Minnesota.
 Robert J. Davis, Licensed Architect under No. 12427, State of Minnesota, Exp. 10/1/2027

Signature: *Robert J. Davis*
 Date: 08/02/2019



PROJECT: 20171617071
 LOC. CODE: 467290

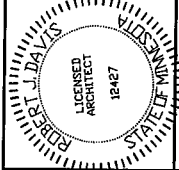
MN05
 PONSFORD

COUNTY HWY 44
 PONSFORD, MN 56575

SHEET CONTENTS:

CONTACTS	ISSUE SUMMARY
SHEET INDEX	DEPARTMENTAL APPROVALS
LESSOR APPROVAL	VICINITY MAP & LOCATION SCAN
TOWER ELEVATION	
DRAWN BY: MISE/JIP	CHECKED BY: BMS
DATE: 11-10-17	REV. A: 01-04-18
	REV. B: 06-05-18
	REV. C: 09-01-19

T-1



I hereby certify that this plan, prepared by me or under my direct supervision and seal, was made by a duly Licensed Architect in the State of Minnesota.
 ROBERT J. DAVIS, Reg. No. 12427
 Date: 08/01/2019

DESIGN
 9773 VALLEY VIEW RD.
 EDEN PRAIRIE, MN 55344
 WWW.DESIGNREP.COM

verizon
 10801 BUSH LAKE ROAD
 BLOOMINGTON, MN 55438
 (651) 544-1700

PROJECT
 2017161671
 LOC. CODE: 457290

MN05
 PONSFORD

COUNTY HWY 44
 PONSFORD, MN 56575

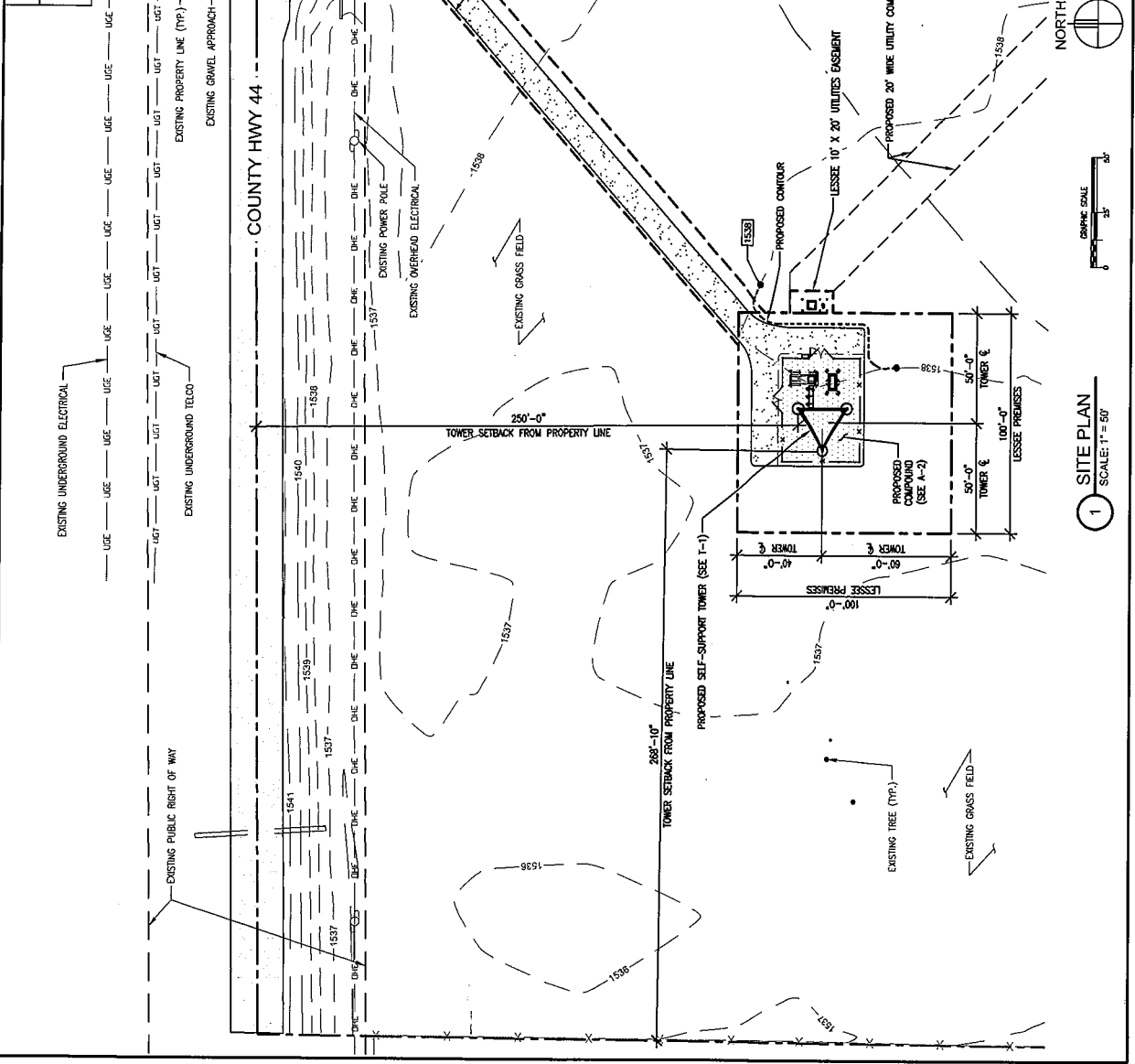
SHEET CONTENTS:
 SITE PLAN
 DETAIL INDEX

DRAWN BY:	BSS/JJP
DATE:	11-10-17
CHECKED BY:	BMS
REV. A	01-04-18
REV. B	06-05-18
REV. C	08-01-19

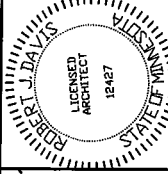
A-1

DETAIL INDEX	
DETAIL	DETAIL DESCRIPTION
SLAB	4'-0"X11'-0" SLAB ON GRADE W/ 3 CABINETS
GEN 1.4	30RECO2K DIESEL GENERATOR W/ ICE SHIELD
1.1	BOLLARD DETAIL
2.1	FENCE SECTION (DETAIL 2)
3.1	CABLE BRIDGE SECTION
4.3	CABLE BRIDGE ELEVATION
5.1	GRAVEL ROAD W/ BASE (DETAIL 1)
6.1	SNOWMAINT GATE (DETAIL 1)
7.1	GPS MOUNTING DETAIL (DETAIL 2)
8.1	TELECOM ENTRY DETAIL (DETAIL 1)
9.1	CMPH DETAIL
10.8	ONE-LINE ELECTRICAL DIAGRAM
12.1	METER PEDESTAL (DETAIL 2)

GENERATOR TYPE:
 DIESEL
 FROST DEPTH
 DESIGN = 5'-0"



1 SITE PLAN
 SCALE: 1" = 50'



I hereby certify that this plan, prepared by me or under my direct supervision, is a true and correct copy of the original work of the Licensed Architect named herein.

ROBERT J. DAVIS, Reg. No. 12427

Robert J. Davis
 RJD
 08/07/2019
 DATE

DESIGN
 8973 VALLEY VIEW RD.
 EDEN PRAIRIE, MN 55444
 WWW.DESIGNHP.COM

verizon
 10801 BUSH LAKE ROAD
 BLOOMINGTON, MN 55438
 (800) 348-4100

PROJECT
 2017/1617671
 LOC. CODE: 457290

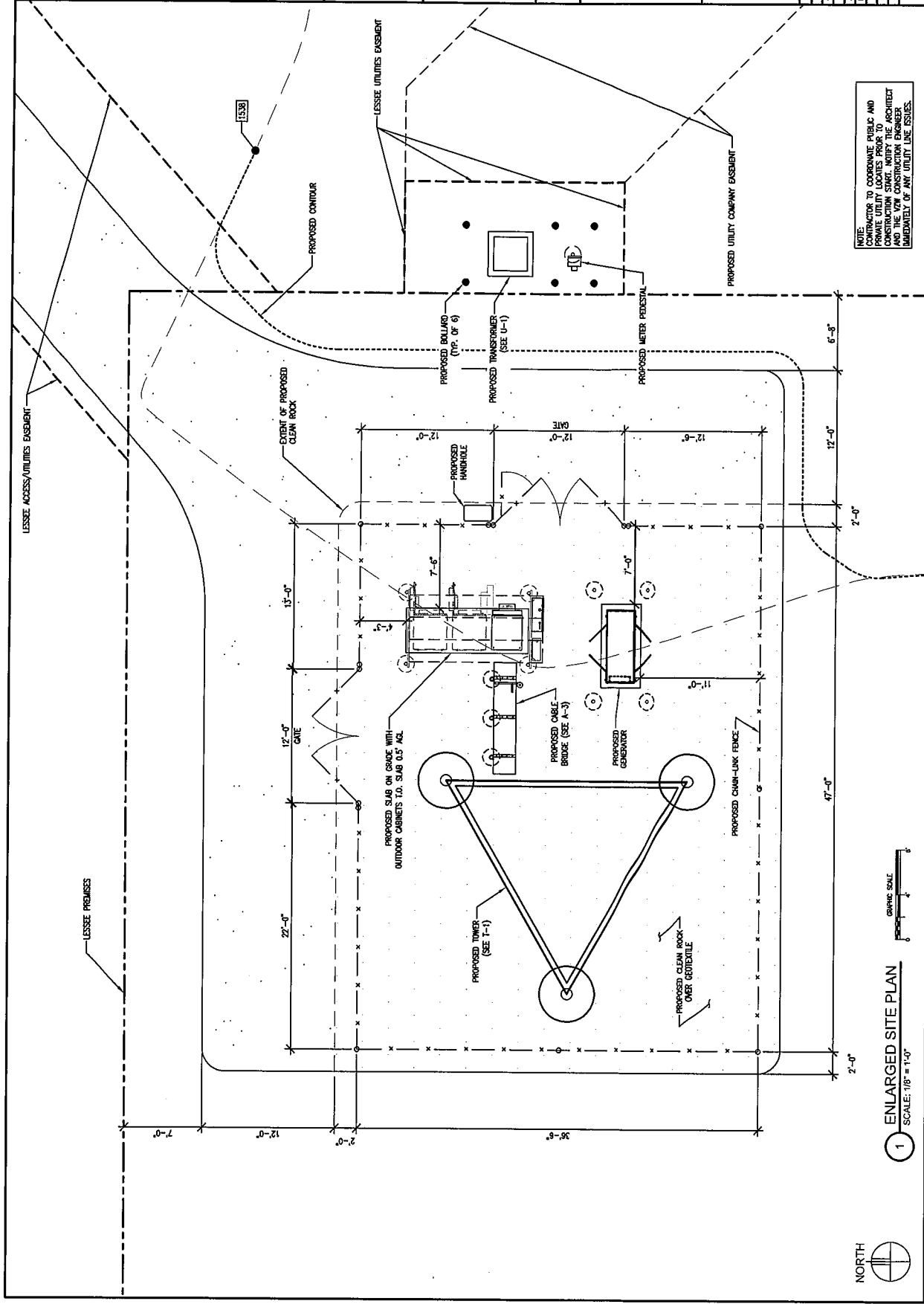
MN05
 PONSFORD

COUNTY HWY 44
 PONSFORD, MN 56575

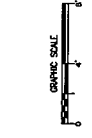
SHEET CONTENTS:
 ENLARGED SITE PLAN

DRAWN BY:	BASG / JP
DATE:	11-10-17
CHECKED BY:	BASG
REV. A:	01-04-18
REV. B:	05-05-18
REV. C:	08-01-19

A-2

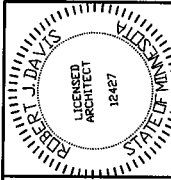


NOTE:
 CONTRACTOR TO COORDINATE PUBLIC AND UTILITY EASEMENTS AND PERMITS PRIOR TO CONSTRUCTION START. NOTIFY THE ARCHITECT AND THE VPM CONSTRUCTION ENGINEER IMMEDIATELY OF ANY UTILITY LINE ISSUES.



1 ENLARGED SITE PLAN
 SCALE: 1/8" = 1'-0"





I hereby certify that this plan, specification and contract documents were prepared by me or under my direct supervision and that I am a duly Licensed Architect in the State of Minnesota.
 ROBERT J. DAVIS, No. 12427
 State of Minnesota
 License No. 12427
 Date: 08/07/2018

DESIGN
 9273 VALLEY VIEW RD.
 EDEEN PRairie, MN 55344
 WWW.DESIGNP.COM

verizon
 1807 BUSH LANE ROAD
 BLOOMINGTON, MN 55438
 (651) 944-1100

PROJECT
 20771617671
 LOC. CODE: 457290

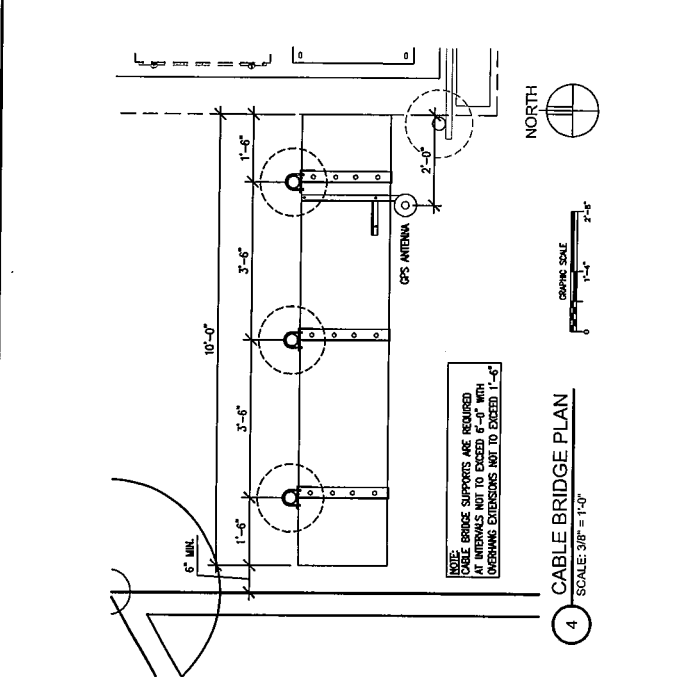
MN05
 PONSFORD

COUNTY HWY 44
 PONSFORD, MN 56575

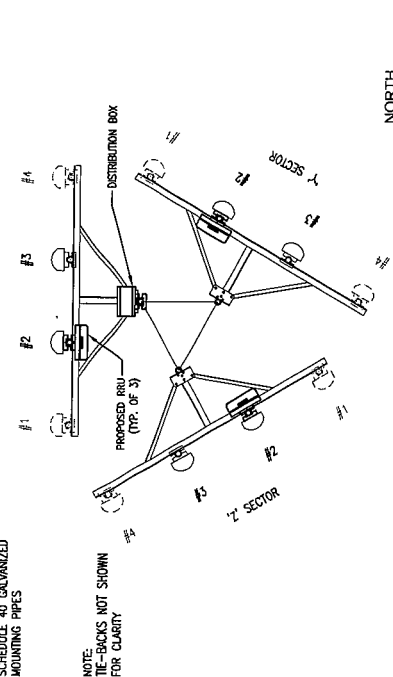
SHEET CONTENTS:
 1. ANTENNA FRAME MAKE AND MODEL T.B.D.
 2. CABLE BRIDGE PLAN
 3. ANTENNA MOUNTING DETAIL

DRAWN BY:	MSC/JJP
DATE:	11-10-17
CHECKED BY:	BMS
REV. A:	01-24-18
REV. B:	08-05-18
REV. C:	08-01-19

A-3



4 CABLE BRIDGE PLAN
 SCALE: 3/8" = 1'-0"



3 ANTENNA MOUNTING DETAIL
 SCALE: 3/16" = 1'-0"

NOTE:
 ANTENNA FRAME MAKE AND MODEL T.B.D.
 CONTRACTOR TO SUPPLY:
 (1) 2.5" x 8.5" LONG SCHEDULE 40 GALVANIZED MOUNTING PIPES

NOTE:
 TIE-BACKS NOT SHOWN FOR CLARITY

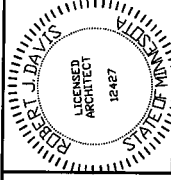
SECTOR	HEIGHT	POSITION	FUNCTION	QTY	MANUFACTURER	MODEL	MOD TYPE	ANTENNA LENGTH	ANTENNA CENTER TIP	ELEC DOWN	MECH DOWN	EQUIPMENT KEY			
												MANUFACTURER	MODEL		
X SECTOR	0'	2.1	TX/RX1	1	COMSCOPE	MH-55C-R2B	700/850	96"	190'	186"	Z	0'	1	ERICSSON	4449
	0'	2.2	TX/RX2	1	COMSCOPE	MH-55C-R2B	700/850	96"	190'	186"	Z	0'	1	ERICSSON	4449
	0'	2.3	FUTURE	1	AMS	3RD PORT	AMS					0'	0		
	0'	2.4	FUTURE	1	AMS	4TH PORT	AMS					0'	0		
	0'	2.5	FUTURE	1	AMS	5TH PORT	AMS					0'	0		
	0'	2.6	FUTURE	1	AMS	6TH PORT	AMS					0'	0		
Y SECTOR	0'	3.1	TX/RX3	1	COMSCOPE	MH-55C-R2B	700/850	96"	190'	186"	Z	0'	1	ERICSSON	4449
	0'	3.2	TX/RX4	1	COMSCOPE	MH-55C-R2B	700/850	96"	190'	186"	Z	0'	1	ERICSSON	4449
	0'	3.3	FUTURE	1	AMS	3RD PORT	AMS					0'	0		
	0'	3.4	FUTURE	1	AMS	4TH PORT	AMS					0'	0		
	0'	3.5	FUTURE	1	AMS	5TH PORT	AMS					0'	0		
	0'	3.6	FUTURE	1	AMS	6TH PORT	AMS					0'	0		
Z SECTOR	0'	2.1	TX/RX1	1	COMSCOPE	MH-55C-R2B	700/850	96"	190'	186"	Z	0'	1	ERICSSON	4449
	0'	2.2	TX/RX2	1	COMSCOPE	MH-55C-R2B	700/850	96"	190'	186"	Z	0'	1	ERICSSON	4449
	0'	2.3	FUTURE	1	AMS	3RD PORT	AMS					0'	0		
	0'	2.4	FUTURE	1	AMS	4TH PORT	AMS					0'	0		
	0'	2.5	FUTURE	1	AMS	5TH PORT	AMS					0'	0		
	0'	2.6	FUTURE	1	AMS	6TH PORT	AMS					0'	0		

2 COAX KEY

CABLE BRIDGE	= 10'
ANTENNA CENTER	= 186"
ANTENNA TIP	= 190'
CABLE BRIDGE	= 210'

1 ANTENNA KEY

ADDITIONAL:
 (1) DISTRIBUTION BOX, MODEL RVZDC-6627-FF-48 (ON TOWER)
 (2) DISTRIBUTION BOX, MODEL RVZDC-4500-RM-48 (IN CABINET)
 (3) COMSCOPE, MODEL HFT190S-2670-210 (DIST BOX IN CABINET TO DIST BOX ON TOWER)
 (4) COMSCOPE, MODEL HFT190S-2670-210 (DIST BOX TO RRU)
 (5) AMERON, MODEL 100-15 (DIST. BOX TO RRU)
 (6) AMERON, MODEL 100-15 (DIST. BOX TO RRU)
 (7) AMERON, MODEL 100-15 (DIST. BOX TO RRU)
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 (99) AMERON, MODEL 100-15 (DIST. BOX TO RRU)
 (100) AMERON, MODEL 100-15 (DIST. BOX TO RRU)



I hereby certify that this plan, prepared by me or under my direct supervision, conforms to the provisions of the laws of MINNESOTA, Chapter 327, Subchapter 02, Section 02, Article 1, Subsection 1, and Chapter 327, Subchapter 02, Section 02, Article 1, Subsection 2.

Robert J. Davis
 State Architect
 No. 12487
 Date: 08/12/2019



PROJECT
 20171617671
 LOC. CODE: 457290

MN05
 PONSFORD

COUNTY HWY 44
 PONSFORD, MN 56575

SHEET CONTENTS:
 OUTLINE SPECIFICATIONS

DRAWN BY:	MSL/JLP
DATE:	11-10-17
CHECKED BY:	BMS
REV. A:	01-04-18
REV. B:	08-05-18
REV. C:	08-01-19

A-4

SCOPE OF WORK:
 CONTRACTOR SHALL PROVIDE MATERIALS, LABOR, TOOLS, TRANSPORTATION, SUPERVISION, AND SPECIFICATIONS AND SHALL INCLUDE, BUT NOT BE LIMITED TO, THE FOLLOWING ITEMS:

SITE PREPARATION
 SITE WORK & DRIVEWAY CONSTRUCTION
 EQUIPMENT SLAB, GENERATOR & TOWER FOUNDATIONS
 SET EQUIPMENT CABINETS, SET GENERATOR & ERSET TOWER
 ROUTING OF GROUND, POWER, FIBER & ALARM
 ELECTRICAL & TELEPHONE SERVICES
 SITE GROUNDING
 INSTALL ANTENNAS & CABLES
 CABLE BRIDGE & ICE SHIELDS
 GRAVEL SURFACING & FENCING
 GROUNDING

Contractor to compare drawings against Owner's "Request for Quote", (RFQ), if discrepancies arise, Contractor shall verify with Owner that the RFQ supersedes the drawings.

WOOD & PLASTICS
 N/A

THERMAL & MOISTURE
 N/A

DOORS AND HARDWARE
 N/A

FINISHES
 09 9000 PAINTING
 Contractor shall provide materials and labor for all painting indicated in the drawings and shall touch-up construction related scuffs & scratches with appropriate paint.

SECONAL CONSTRUCTION
 13 1090 CABLE BRIDGE & ICE SHIELDS
 Contractor shall furnish & install materials for the Cable Bridge as indicated on the drawings and Verticon Wireless Standard Details.
 Ice Shields as indicated on the Drawings & Verticon Wireless Standard Details.

13 1400 ANTENNA INSTALL
 Contractor shall install Owner's antennae and feed lines during erecting.
 Contractor shall test and certify feed lines per current VZW standards.

13 3423 TRANSPORT AND SET EQUIPMENT CABINETS/GENERATOR
 Contractor shall provide crane(s) and/or truck for transporting, setting and erecting Equipment Cabinet/Generator per RFQ. Contractor shall install items as shown on drawings and shall touch-up construction related scuffs & scratches with appropriate paint.

13 3513 TRANSPORT AND ERSET TOWER/ANTENNA MOUNTS
 Contractor shall provide materials and labor for all erecting and provide cranes for unloading and erecting. Contractor to install and erect tower and ensure the existence of a 3/8" cable safety cable (DBI/Salo or equal) on the tower.

MECHANICAL
 N/A

15 5000 HVAC
 N/A

ELECTRIC
 16 5000 LIGHTING AND ELECTRICAL
 Contractor shall provide labor and materials as necessary to complete the work shown on Drawings including items shipped loose with the Equipment Cabinets/Generator assembly.

16 6000 GROUNDING
 Contractor shall make themselves familiar with and follow the current GROUNDING STANDARDS OF VERTICON WIRELESS. Contractor shall perform work as shown on drawings and shall touch-up construction related scuffs & scratches with appropriate paint. STANDARD are to be addressed by the Contractor to the Owner.

CABINET-FURNISHED EQUIPMENT & FEES
 EQUIPMENT CABINETS
 GENERATOR
 SELF-SUPPORT TOWER
 ANTENNA FRAMES
 COAX AND/OR CABLES
 ANTENNAS & DOWNLEIT BRACKETS
 GPS & GPS MOUNTING
 BUILDING PERMIT FEES
 MATERIALS TESTING FEES
 SPECIAL INSPECTIONS FEES

CONTRACTOR-FURNISHED EQUIPMENT
 POWER TO SITE
 TELLO TO SITE
 CABLE BRIDGE MATERIALS & ICE SHIELDS
 GROUNDING MATERIALS
 FENCING
 CONNECTORS, BOOTS, & RELATED HARDWARE

02 7000 POWER TO SITE
 Contractor shall coordinate the electrical service to the building with the utility Provider. Conditions shall include pull strings. Underground conduits shall be 2-1/2" THIN WALL PVC (Schedule 40) with 1/2" O.D. for 40' and 3/4" for 40' and 1" for 40' and 1 1/2" for 40'. Conduits shall be installed in trench and shall be supported by a concrete pad. Conduits shall be 200 amp, single phase, 120/240 volt. Service type shall be "General Time-of-Day" if available, and meter base shall be approved by utility provider. Contractor to provide and install Conlon expansion joint connections at equipment cabinet location per manufacturer's specifications and recommendations.

02 7900 TELCO TO SITE
 Contractor shall provide 2" SDR-11 HDPE conduit for fiber installed as noted in Drawings when directional boring is utilized. Contractor shall provide 2" schedule 40 PVC conduit and 2" schedule 80 PVC conduit under roadways with large-diameter elbows for fiber conduit as noted on Drawings when hand trenched. Trenches shall be as in 02 7800.

02 8000 SITE IMPROVEMENTS
 Area bounded by fence and adjacent to Equipment Cabinet Sub shall receive polyethylene geotextile, 200 mesh woven, topped with 3" deep 3/4" to 1 1/2" clean rock (no fines), rated smooth.

02 8001 FENCING
 All fence materials and fittings shall be galvanized steel. Fence shall be 6'-0" high x 9-gauge x 1/2" chain link fabric, w/ 7-gauge bottom tension wire. Corner and end posts shall be 3/4" O.D. x 40 schedule 40 steel pipe, driven 72" below grade. Line posts shall be 3/8" O.D. x 40 schedule 40 steel pipe. Fence top shall be three (3) strands barbed wire to 7'-0" above grade, combined outward. Bracing shall be 3/8" steel mesh and 1 1/2" O.D. pipe mid-mesh at corners. Gate latch shall be commercial grade, "Zamp" or equal. Fabric shall extend to within 1" of finish grade. All materials shall be completed within 7 days of tower erecting and Contractor shall provide geotextile and drainage fabric. Contractor shall ensure that fences shall be protected against damage during this work, and any damage that may occur shall be repaired or replaced to equal existing pre-construction condition.

02 8200 IRRIGATION SYSTEMS
 N/A

02 9000 LANDSCAPING
 N/A

CONCRETE
03 1000 CONCRETE FORMWORK
 Concrete forms shall be dimensional lumber, modular, or steel.

03 6000 GROUT
 N/A

03 8000 TOWER FOUNDATION
 Contractor shall furnish & install materials for Equipment Cabinet/Generator foundations. Concrete shall be 6K ± 1% air entrained, and 4,000 psi at 28 days. All reinforcing steel is to Grade 60 (ASTM 615). Anchor bolts are furnished by Contractor. Contractor shall comply with the Owner's Standard CONSTRUCTION SPECIFICATIONS MINIMUM CONCRETE STANDARDS.

03 8001 CATHODIC PROTECTION
 N/A

03 9000 EQUIPMENT CABINET/GENERATOR FOUNDATION
 Contractor shall furnish & install materials for Equipment Cabinet/Generator foundations. Concrete shall be 6K ± 1% air entrained, and 4,000 psi at 28 days. All reinforcing steel is to Grade 60 (ASTM 615). Anchor bolts are furnished by Contractor. Contractor shall comply with the Owner's Standard CONSTRUCTION SPECIFICATIONS MINIMUM CONCRETE STANDARDS.

MEASUREMENT
 N/A

02 0000 METALS
 Contractor will furnish and install steel shapes and fabricated steel items not specifically furnished by Owner, and install Owner-furnished materials. Fabrication shall conform to AWS standards. Fabrications shall be shop welded and galvanized before delivery to site unless noted otherwise.

Steel shapes shall meet ASTM A36 and steel pipe ASTM A53 Grade B. Steel shapes and fabrications shall be hot-dip galvanized per ASTM A123 with minimum coating thickness of 1.5 mil. Steel bolts shall meet ASTM F1552 and 1/2" bolts SAE J429 Grade 5 or equivalent. Steel nuts shall meet ASTM A193. Field report of galvanized coatings shall be per ASTM A780.

GENERAL CONDITIONS

00 0001 PERMITS
 All permits shall be obtained by, or in the name of, Verticon Wireless, to be hereinafter referred to as the OWNER. Other permits shall be obtained by the Contractor.

00 0002 SURVEY FEES
 Survey shall be furnished by the Architect. Layout Staking shall be coordinated with the Surveyor per "Request for Quote", (RFQ).

01 0010 INSURANCE & BONDS
 Contractor is to furnish insurance certificates for themselves, and subcontractors. Contractor will provide any required bonding. Contractor agrees to warranty the project for (1) one year after completion.

01 0400 SUPERVISION & COORDINATION
 Contractor shall provide supervision throughout the Project, coordinating the work of the Subcontractors, and delivery & installation of Owner-furnished items. Contractor's responsibilities include arranging & conducting of Underground Utilities Locates. Contractor shall comply with municipal, county, state and/or federal codes, including OSHA.

01 0600 TESTING
 Contractor is responsible for providing Agencies with sufficient notice to arrange for test Samples (i.e.: Concrete Cylinders), and for Special Inspections.

01 2000 MEETINGS
 Contractor shall make themselves aware of, and attend, meetings with the Owner and/or Architect. Contractor is to attend a Pre-Construction Meeting of all parties involved, prior to the start of construction.

01 2100 TEMPORARY UTILITIES
 Contractor shall maintain the job site in a clean and orderly fashion, providing temporary auxiliary facilities, waste disposal, and security (fence area or trailer included).

01 5300 EQUIPMENT RENTAL
 Contractor shall furnish equipment necessary to expedite work.

01 5600 FIELD OFFICES & SHELTERS
 Contractor shall provide (fence area or trailer module) for tools and materials that remain overnight on site.

01 7000 CLEAN UP & CLOSE OUT
 Contractor shall be responsible for the site up to the satisfaction of Owner. Contractor shall complete the site, field the work, and remove all materials from the site. The site shall be left in a clean and orderly condition at all times. A full set of redlined drawings (As-Built) are to be given to the Architect at Job completion and submit "construction work complete memo" to Construction Engineer.

01 8000 TRUCKS & MILEAGE
 Contractor shall provide transportation for their own personnel.

01 8200 TRAVEL TIME & PER DIEM
 Contractor shall be responsible for their own personnel, and responsible time for traveling to & from job site.

01 9200 TAXES
 Contractor shall pay sales and/or use tax on materials and taxable services.

SITING

02 1000 SITE PREPARATION
 Contractor is to mobilize within 7 calendar days of the Owner issuing a "START" document. Contractor will immediately report to architect any conditions that may be detrimental to the project. Site shall be scraped to a depth of 3" minimum to remove vegetative matter, and scrapings shall be stockpiled on site. Excess material to be disposed of in accordance with RFQ.

02 1100 ROAD IMPROVEMENT & CONSTRUCTION
 Contractor shall furnish materials for, and install, a twelve foot (12') wide gravel driveway from the road access to the work area, for truck and crane access to site. Base course shall be 6" deep, 3/4" crushed rock, topped with 3" deep, 1 1/2" crushed gravel. Contractor shall furnish & install curbs with the driveway for parking or washing-out from normal surface runoff. Contractor shall obtain city, county, state and/or federal approvals for road approach and culvert work within or adjacent to right-of-ways. Road shall be graded smooth, and edges dressed, at per completion.

02 2000 EARTHWORK & EXCAVATION
 Excavation material shall be used for surface grading as necessary, excess to be stockpiled on site and used for site stabilization. Contractor shall utilize rock or sediment filter for filtering of eroded areas. Contractor shall utilize rock or sediment filter for filtering of eroded areas.

02 5000 PAVING & SURFACING
 Gravel paving shall be as described in 02 1100.

02 7000 POWER TO SITE
 Contractor shall coordinate the electrical service to the building with the utility Provider. Conditions shall include pull strings. Underground conduits shall be 2-1/2" THIN WALL PVC (Schedule 40) with 1/2" O.D. for 40' and 3/4" for 40' and 1" for 40' and 1 1/2" for 40'. Conduits shall be installed in trench and shall be supported by a concrete pad. Conduits shall be 200 amp, single phase, 120/240 volt. Service type shall be "General Time-of-Day" if available, and meter base shall be approved by utility provider. Contractor to provide and install Conlon expansion joint connections at equipment cabinet location per manufacturer's specifications and recommendations.

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02 8200 IRRIGATION SYSTEMS
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02 9000 LANDSCAPING
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03 1000 CONCRETE FORMWORK
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 Contractor shall be responsible for their own personnel, and responsible time for traveling to & from job site.

01 9200 TAXES
 Contractor shall pay sales and/or use tax on materials and taxable services.

GENERAL GROUNDING NOTES:

An external buried ground ring (Lead 1) shall be established around the equipment cabinets and tower foundations. Lead 1 shall be kept 24" from foundations; if foundations are less than 24" from foundations, the ground ring shall be installed in the base of the tower. The ground ring shall be installed in the base of the tower. Lead 1 shall be established around each foundation, and the two Lead 1's shall be bonded with two parallel leads at least 6 feet apart horizontally. Connections between the two Lead 1's shall be bi-directional.

All subgrade connections shall be by exothermic weld, brazed weld, or gas-tight UL467-listed compression fittings pre-filled with anti-oxidant compound. Subgrade connections shall ID'd be lead galvanic contact.

Lead 1 shall be #2 solid bare tin-clad (SBTC) copper wire bonded at lead front depth. Lead 1 bends shall be minimum 24" radius. Whip lead bends may be of 12" radius.

Ground rods shall be galvanized steel, 5/8", spaced twenty feet apart, or as shown. Rods shall be kept min. 24 inches from foundations. Ground rods are required to be installed at their full specified length. Depth shall be as shown in Detail 11.1 in the Verizon Wireless Standard Detail Booklet.

SPECIAL CONSIDERATIONS FOR GROUND RODS:

When ground rods are not specified to be bonded w/ Bentonite or other bonding agent, the Contractor will need to have drilling equipment bore a hole for ground rod placement. Holes to be backfilled w/ Bentonite Slurry.

When specified with slurry bonded encasement, drilling equipment will be used to bore a hole for ground rod placement. Slurry shall be made from palletized material ("Grounding Grout"); powdered Bentonite is not allowed. If slurry is not used, the Contractor shall ensure that the ground rod shall drill to the specified depth and provide Bentonite encasement.

Above-ground connections shall be by lugs w/ two-hole tongues and washers, joined to solid leads by welding (Z69 4455/68/75/312), or 10,000psi cold-chamber zinc plating (Z69 2522/25312), or 10,000psi cold-chamber zinc plating (Z69 2522/25312). Surfaces that are galvanized or coated shall be stainless steel with flat washers on each side of the connection and a lock washer beneath the fastening nut. Star-tooth washers shall be used for connections between tin-clad CU lugs & tin-oxidized bus bars. Lug tongues shall be coated with anti-oxidant compound, and excess compound wiped clean after bolting. The connection shall be coated with cold galvanizing compound, or with anti-oxidant paint.

Ground bars exposed to weather shall be tin-clad copper, and shall be clean of any oxidation prior to lug bolting. Galvanized items shall have zinc removed within 1" of weld area, and below lug surface contact area. After welding or bolting, the joint shall be coated with cold galvanizing compound.

Ground_Bar_Leads

Ground bars are isolated electrically from lower bottoms and equipment cabinets by their standoff mounts. Leads from each ground bar to the ground ring shall be a pair of #2 SBTC, each connected to the ground ring with a pair of #2 SBTC jumpers. Pairs of #2 SBTC may be required between ground bars. Leads shall be routed to ground bars as follows:

- The Main Ground Bar (MGB), typically mounted adjacent to LC (Location) wires.
 - Tower Ground Bars (TGB), mounted inside and outside on the equipment shelter walls beneath the transmission line port.
 - The Tower Ground Bar (TGB) mounted at the base of the tower. Note: Transmission line grounds also attach to the TGBs.
- Note: Contractor shall confirm that TGBs exist at 75-foot vertical intervals on any guyed or self-support tower, and that transmission lines are grounded to each TGB. Only the upper TGBs may be used for tower-to-ground connections. Upper TGBs may use the tower steel frame as common ground, requiring no copper leads between TGBs.

#2_SBTC_Whip_Leads

"Whip" leads shall connect the buried external ground ring to the following items:

- Self-Support Towers:
- Two whip to fence(s) on each tower leg base. If none are provided, attach to the baseplate or consult tower manufacturer.

Fences: Metallic fence within 25 feet of tower Lead 1, or within 6 feet of shelter lead 1, shall have whip leads as follows:

- Each corner post.
- Any line post over 20'-0" from a grounded post.
- Each gate post over 20'-0" from a grounded post.

Each gate lead to its respective post using braided strip (5/4", tin-clad copper w/ lug ends).

Fences around guy anchors shall be grounded in similar fashion.

Each vertical support pipe of the exterior cable bridge. Bridge cable bridge shall be jumpered to the exterior support pipes with #2 SBTC at each vertical support pipe.

Each HVAC unit shield, if separate (may be "jumpered" to main roof shield).

Each HVAC package unit.

- Generator receptacle, if present.
- Steel building skid, if shelter is metal frame.
- Each air intake or exhaust fan vent lower.
- Generator exhaust stack, external.
- Opposite corners of generator support frame, if separate from shelter.

Each fuel tank, if separate from generator unit.

- Lower building rain gutter, downspout, and roof flashings within 25 feet.
- Metal WPAP (Main Point of Presence), if external to equipment shelter.
- Cable vaults, one each to the ladder and to the mainframe area.

Note: The door frame is connected to the interior ground halo, and need no separate connection to the external ground ring.

Inspection & Testing

Test lead #1 and ground rods after installation but before backfilling or connecting to any other grounding. Using the 3-point fall of potential method, Contractor shall verify the resistance to ground of each ground rod at least 48 hours per to test logs. Document installation and test results with photographs.

SYMBOL AND NOTE LEGEND

- #2 SBTC around cabinet slug, tower, or guy anchor
- 5/8" x 10'-0" galvanized steel ground rod
- ⊙ TEST WELL PREFERRED LOCATION
- ⊕ 2" x 30'-0" galvanized steel schedule 80 water pipe ground rod
- ⊖ #2 SBTC "Whip" Lead
- ⊗ #2 SBTC FROM MGB, PGB, OR TGB TO LEAD 1
- ⊘ HVAC UNIT
- ⊙ BOLLARD CORNER
- ⊙ BOLLARD
- ⊙ C/S BRIDGE SUPPORT POST
- ⊙ CL CABLE
- ⊙ EL ELECTRICAL SERVICE GROUND
- ⊙ EM COMMERCIAL ELECTRICAL METER
- ⊙ FM GUY ANCHOR PLATE
- ⊙ GN GENERATOR
- ⊙ GP GPS UNIT
- ⊙ GUY GUY WIRE MECH. CLAMP ONLY - NO WELDS
- ⊙ HL HOOD OR LOWER
- ⊙ HB OUTSIDE OF HOFFMAN BOX
- ⊙ ILC INTEGRATED LOAD CENTER
- ⊙ MGB MAIN GROUND BAR
- ⊙ MU GENERATOR MUFFLER
- ⊙ PGB PORT GROUND BAR
- ⊙ RBR FOUNDATION REINFORCING
- ⊙ RS ROOF SHELD
- ⊙ SB STEEL BEAM
- ⊙ SP STEEL POST
- ⊙ STP STEEL PLATFORM
- ⊙ TEL HOFFMAN BOX
- ⊙ TGB TOWER GROUND BAR
- ⊙ TP DIESEL FUEL VENT PIPE

Note: Contractor to provide #2 solid bare tin-clad (SBTC) copper wire lead from #1 ground ring to air conditioner & be shield if provided by OEM.

LEAD IDENTIFICATION & DESCRIPTION:

- 1 RING EXTERNAL BURIED w/ RODS
- 2 DEEP ANODE (TO IMPROVE OHMS)
- 3 MAIN AC PANEL NEUTRAL BUS TO (2) GROUND
- 4 MAIN AC PANEL NEUTRAL BUS TO (2) GROUND
- 5 MAIN AC PANEL NEUTRAL BUS TO (2) GROUND
- 6 RING TO EXT. MTL OBJECT
- 7 DEEP ANODE TO MGB
- 8 AC PANEL TO WATER METER
- 9 AC PANEL TO WATER PIPES
- 10 AC PANEL TO MGB
- 11-12 NOT USED
- 13 AC PANEL TO MGB
- 14 MGB/FOB TO BLDG. STL. FRAME
- 15 MGB/FOB TO ROOF/WALL MTL. PNL
- 16 MGB/FOB TO ROOF-THE SAME FLOOR
- 17 MGB TO CABLE ENTRY RACK
- 18 MGB/FOB TO F-0 SPRUCE SHELF
- 19 MGB/FOB TO F-0 SPRUCE SHELF
- 20 MGB/FOB TO BRANCH AC PNL
- 21 MGB/FOB TO DISCONNECT PNL
- 22 MGB/FOB TO INT. HALO
- 23 MGB/FOB TO EXTERIOR MTL. PNL
- 24 MGB/FOB TO ROOF GND
- 25 MGB/FOB TO CORNER, SAME FLOOR
- 26 MGB/FOB TO CAR-HF LMR PART
- 27 MGB/FOB TO EACH PROTECTOR ASSEMBLY
- 28 LOWER PROT ASST TO UPPER
- 29 RING TO NEAREST UPRISING ROD
- 30 RING TO TOWER RING
- 31 BRANCH AC PNL TO EXT. CHG. FRM
- 32 MGB/FOB TO OUTLETS
- 33 MGB/FOB TO BATTERY CHARGER FRAME
- 34 #1 TO BATTERY CHARGER FRAME
- 35 #1 TO BATTERY CHARGER FRAME
- 36 #1 TO BATTERY CHARGER FRAME
- 37 MGB/FOB TO BATTERY CHARGER FRAME
- 38 #1 TO BATTERY CHARGER FRAME
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- 57 MGB/FOB TO BATTERY CHARGER FRAME
- 58 MGB/FOB TO BATTERY CHARGER FRAME
- 59 MGB/FOB TO BATTERY CHARGER FRAME
- 60 MGB/FOB TO BATTERY CHARGER FRAME

25 RING TO NEAREST UPRISING ROD

26 RING TO TOWER RING

27 BRANCH AC PNL TO EXT. CHG. FRM

28 MGB/FOB TO OUTLETS

29 MGB/FOB TO BATTERY CHARGER FRAME

30 #1 TO BATTERY CHARGER FRAME

31 #1 TO BATTERY CHARGER FRAME

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61 RING TO NEAREST UPRISING ROD

62 RING TO TOWER RING

63 BRANCH AC PNL TO EXT. CHG. FRM

64 MGB/FOB TO OUTLETS

65 MGB/FOB TO BATTERY CHARGER FRAME

66 #1 TO BATTERY CHARGER FRAME

67 #1 TO BATTERY CHARGER FRAME

68 #1 TO BATTERY CHARGER FRAME

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85 MGB/FOB TO BATTERY CHARGER FRAME

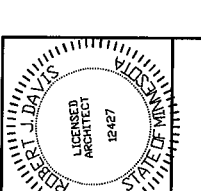
86 MGB/FOB TO BATTERY CHARGER FRAME

87 MGB/FOB TO BATTERY CHARGER FRAME

88 MGB/FOB TO BATTERY CHARGER FRAME

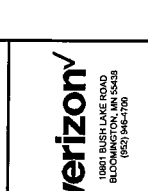
89 MGB/FOB TO BATTERY CHARGER FRAME

90 MGB/FOB TO BATTERY CHARGER FRAME



These seals bear the date, identification of report, and the name of the architect or engineer. Licensed Architect under the laws of the State of Minnesota. ROBERT J. DAVIS, No. 12427

DESIGN
9975 VALLEY VIEW RD.
BURNSVILLE, MN 55334
WWW.DESIGNEP.COM



PROJECT
20171617671
LOC. CODE: 457280

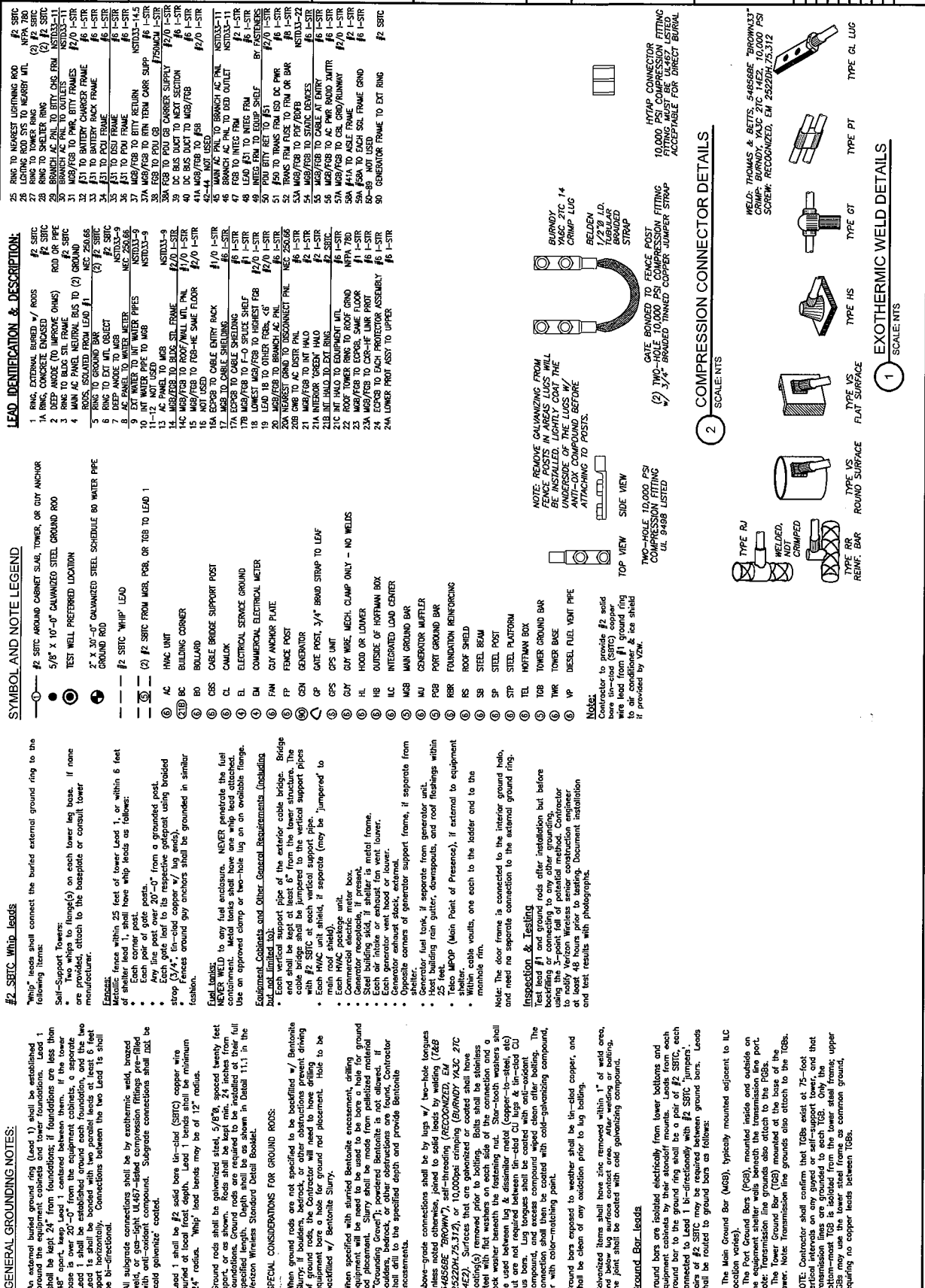
MN05
PONSFORD

COUNTY HWY 44
PONSFORD, MN 56675

SHEET CONTENTS:
GROUNDING NOTES

DRAWN BY:	MSG/J.P.
DATE:	11-06-17
CHECKED BY:	BMS
REV. A:	01-04-18
REV. B:	06-25-18
REV. C:	08-01-19

G-1



COMPRESSION CONNECTOR DETAILS

SCALE: NTS

1 EXOTHERMIC WELD DETAILS

SCALE: NTS

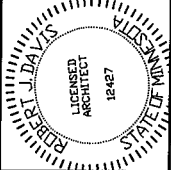
2 COMPRESSION CONNECTOR DETAILS

SCALE: NTS

WELD: THOMAS & BETTS, S-455686, BROWN/337
SOLDER: 60/40 SN/PB, 100% PBT, 100% PBT
SCREW: RECOGNIZED, EM 242220, Z53.312

GROUNDING DETAIL INDEX

DETAIL	DETAIL DESCRIPTION
11.0	SLAB ON GRADE GROUNDING
11.1	TEST WELL DETAIL GROUND RING & ROD DETAIL
11.3	REBAR GROUNDING DETAIL
11.4	CONDUIT DETAIL
11.5	TYPICAL GROUNDING CABLE BRIDGE DETAIL
11.6	TYPICAL TOWER GROUNDING DETAIL



I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the State of Minnesota.
ROBERT J. DAVIS, Reg. No. 12427

Robert J. Davis
 Signed: _____
 Date: 08/07/2018



PROJECT: 20171617671
 LOC. CODE: 457280

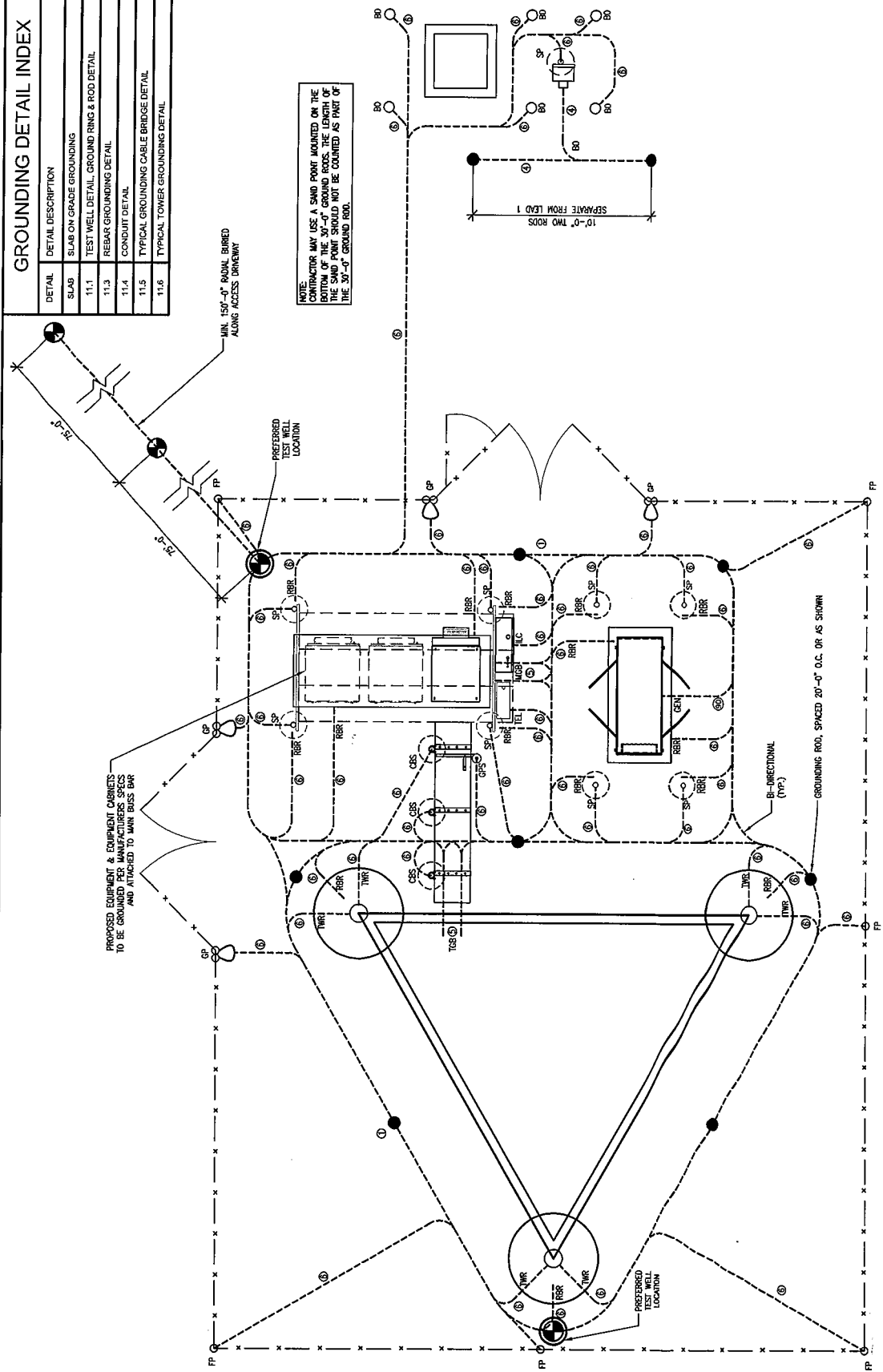
MIN05
 PONSFORD

COUNTY HWY 44
 PONSFORD, MN 56575

SHEET CONTENTS:
 GROUNDING PLAN
 GROUNDING DETAIL INDEX

DRAWN BY:	MSSG / J.P.
DATE:	11-10-17
CHECKED BY:	BNS
REV. A	01-04-18
REV. B	05-05-18
REV. C	08-01-19

G-2



NOTE: CONTRACTOR MAY USE A SAND POINT MOUNTED ON THE SURFACE OF THE CONCRETE. THE LENGTH OF THE SAND POINT SHOULD NOT BE GREATER THAN THE 30'-0" GROUND ROD.

NOTE: CONTRACTORS SHALL ENSURE THAT EACH WIRE IS REQUIRED TO LEAD TO THE SHORTEST POINT AND BENDS SHALL NOT BE LESS THAN 12" RADIUS.



1 GROUNDING PLAN
 SCALE: NTS

SITE SURVEY

PROPERTY DESCRIPTION: (per U.S. Title Solutions File No. 58547-MN1710-5030, effective date October 26, 2017.)

The North Half of the West Half of the Northwest Quarter (NW/2 NW/2 NW/4), Section 3, Township One Hundred Forty (140), Range Thirty-seven (37), Cottonville Township, Becker County, consisting of approximately 33.86 acres.

SCHEDULE "B" EXHIBITS: (per U.S. Title Solutions File No. 58547-MN1710-5030, effective date October 26, 2017.)

- 1-6) Not related to the survey.
- 7) Easement by Steven F. Lymburner and Leah M. Lymburner, husband and wife to Great River Energy, dated 5/7/2013 recorded 5/13/2013 in Instrument No. 180746, like interests. This easement does affect the 20' wide access and utilities easement. This easement is as shown on the survey.
- 8) County Auditor's Certificate Enclosed Pursuant to Subdivision (f) of Section 8, Chapter 278 Laws of 1935 recorded 8/8/1974 in book 251 page 573.
This document is not related to the survey.
- 9) Affidavit between Morgan Tolson dated 12/22/1982 recorded 12/23/1982 in book 121 page 59.
This document is not related to the survey.



SITE NAME:
MN05 PONSFORD
Becker County, MN

No.	Date	By	CHK. LAST	BY	DATE
FIELD WORK	12/7/17	CHECKED BY: SJK	DRAWN BY:	BY: JMB	
		REVISIONS			

I HEREBY CERTIFY THAT THIS DOCUMENT WAS PREPARED BY ME OR UNDER MY ORDEE SUPERVISION AND IN ACCORDANCE WITH THE REQUIREMENTS UNDER THE LAWS OF THE STATE OF MINNESOTA.

SIGNATURE: *[Signature]*
DATE: 6/15/18
STATE LICENSE # 49021

MINNESOTA PROFESSIONAL SURVEYOR
046424262001

PREMISES DESCRIPTION:

That part of the North Half of the West Half of the Northwest Quarter of Section 3, Township 140 North, Range 37 West of the Fifth Principal Meridian, Becker County, Minnesota, described as follows:
Commencing at the northwest corner of said North Half of the West Half of the Northwest Quarter of said Section 3, Township 140 North, Range 37 West of the Fifth Principal Meridian, thence South 0 degrees 30 minutes 28 seconds East, a distance of 220.50 feet to the Point of Beginning of said North Half of the West Half of the Northwest Quarter, thence South 30 degrees 00 minutes 00 seconds East, a distance of 100.00 feet, thence South 0 degrees 00 minutes 00 seconds West, a distance of 100.00 feet, thence North 0 degrees 00 minutes 00 seconds East, a distance of 100.00 feet, to the Point of Beginning.

ACCESS AND UTILITIES EASEMENT DESCRIPTION:

A 20.00 foot wide easement for ingress, egress and utility purposes over, under and across the North Half of the West Half of the Northwest Quarter of Section 3, Township 140 North, Range 37 West of the Fifth Principal Meridian, Becker County, Minnesota, the centerline of said easement is described as follows:

Commencing at the northeast corner of said North Half of the West Half of the Northwest Quarter of said Section 3, Township 140 North, Range 37 West of the Fifth Principal Meridian, thence North 49 degrees 49 minutes 29 seconds East, a distance of 227.41 feet, thence South 30 degrees 00 minutes 00 seconds East, a distance of 100.00 feet to the Point of Beginning of said North Half of the West Half of the Northwest Quarter, thence South 30 degrees 00 minutes 00 seconds East, a distance of 100.00 feet, thence North 0 degrees 00 minutes 00 seconds West, a distance of 100.00 feet, thence North 0 degrees 00 minutes 00 seconds East, a distance of 100.00 feet, to the south right of way line of County State Aid Highway Number 44 and said easement there terminating.

The sidelines of said easement shall be shortened or lengthened to terminate at said south right of way line of County State Aid Highway Number 44 and of lines bearing North 80 degrees 00 minutes 00 seconds West and South 0 degrees 00 minutes 00 seconds West from the Point of Beginning.

UTILITIES EASEMENT DESCRIPTION:

A 20.00 foot wide easement for utility purposes over, under and across the North Half of the West Half of the Northwest Quarter of Section 3, Township 140 North, Range 37 West of the Fifth Principal Meridian, Becker County, Minnesota, the centerline of said easement is described as follows:

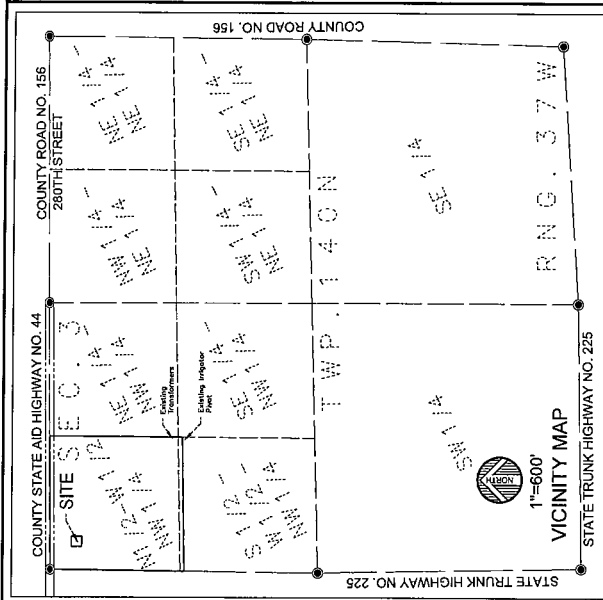
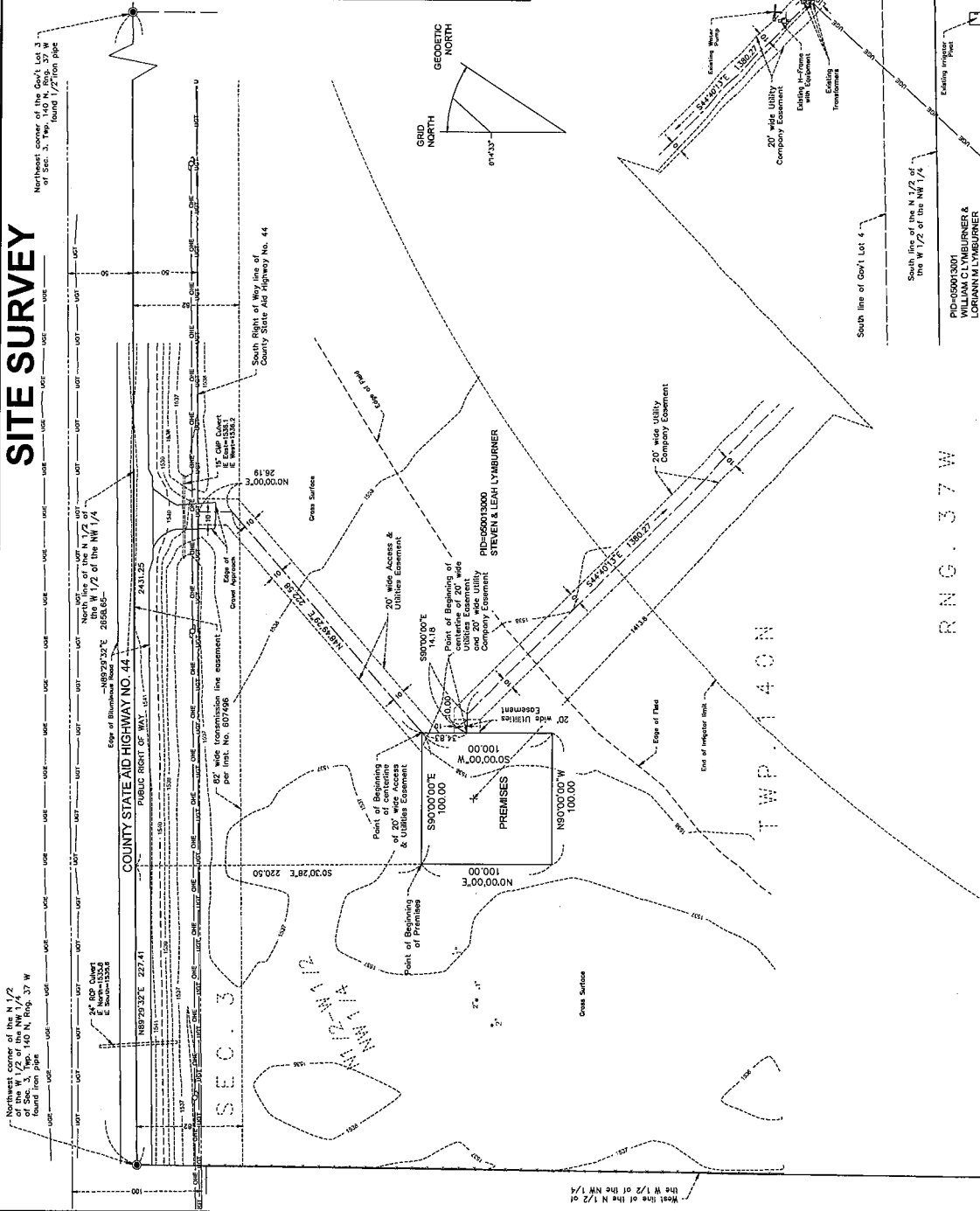
Commencing at the northwest corner of said North Half of the West Half of the Northwest Quarter of said Section 3, Township 140 North, Range 37 West of the Fifth Principal Meridian, thence North 49 degrees 49 minutes 29 seconds East, a distance of 227.41 feet, thence South 30 degrees 00 minutes 00 seconds East, a distance of 100.00 feet, thence North 0 degrees 00 minutes 00 seconds West, a distance of 100.00 feet to the Point of Beginning of said North Half of the West Half of the Northwest Quarter, thence South 30 degrees 00 minutes 00 seconds East, a distance of 100.00 feet, thence North 0 degrees 00 minutes 00 seconds West, a distance of 100.00 feet, to the south right of way line of County State Aid Highway Number 44 and said easement there terminating.

UTILITY COMPANY EASEMENT DESCRIPTION:

A 20.00 foot wide easement for utility purposes over, under and across the North Half of the West Half of the Northwest Quarter of Section 3, Township 140 North, Range 37 West of the Fifth Principal Meridian, Becker County, Minnesota, the centerline of said easement is described as follows:

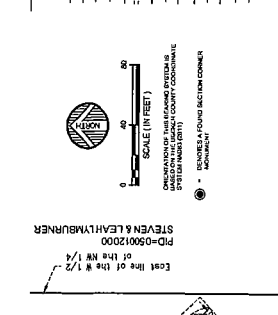
Commencing at the northwest corner of said North Half of the West Half of the Northwest Quarter, thence North 89 degrees 29 minutes 32 seconds East, a distance of 14.18 feet, thence North 0 degrees 30 minutes 28 seconds East, a distance of 220.50 feet, thence South 30 degrees 00 minutes 00 seconds East, a distance of 100.00 feet, thence North 0 degrees 00 minutes 00 seconds West, a distance of 100.00 feet, thence North 0 degrees 00 minutes 00 seconds East, a distance of 100.00 feet, thence North 0 degrees 00 minutes 00 seconds East, a distance of 100.00 feet, to the centerline of said easement there terminating.

SITE SURVEY



LEGEND

	ELEC POLE
	ELEC METER
	FENCE BARB WIRE
	UNDERGROUND ELECTRIC
	UNDERGROUND ELECTRIC
	UNDERGROUND TELE
	FIELD EDGE
	CULVERT
	PREMISES
	EASEMENT LINE
	CENTERLINE
	BOUNDARY LINE
	SECTION LINE
	QUARTER LINE
	SIXTEENTH LINE
	GRAVEL SURFACE



SURVEYOR NOTES:

- Utilities are per observed evidence, and markings per CORNER STATE ONE, CALL LOCATE 188552036, 188552037, 188552038, 188552039, 188552040, 188552041, 188552042, 188552043, 188552044, 188552045, 188552046, 188552047, 188552048, 188552049, 188552050, 188552051, 188552052, 188552053, 188552054, 188552055, 188552056, 188552057, 188552058, 188552059, 188552060, 188552061, 188552062, 188552063, 188552064, 188552065, 188552066, 188552067, 188552068, 188552069, 188552070, 188552071, 188552072, 188552073, 188552074, 188552075, 188552076, 188552077, 188552078, 188552079, 188552080, 188552081, 188552082, 188552083, 188552084, 188552085, 188552086, 188552087, 188552088, 188552089, 188552090, 188552091, 188552092, 188552093, 188552094, 188552095, 188552096, 188552097, 188552098, 188552099, 188552100, 188552101, 188552102, 188552103, 188552104, 188552105, 188552106, 188552107, 188552108, 188552109, 188552110, 188552111, 188552112, 188552113, 188552114, 188552115, 188552116, 188552117, 188552118, 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Authorized Agent Form

(If you are the owner completing & signing the site application no need to complete this form)

1. Form must be legible and completed in ink.
2. Check appropriate box(es). Write any specific restrictions on the checked item in the space provided (e.g. "garage site permit" or "valid only on permit applications submitted between 06/01/20XX and 08/01/20XX"). If you want your agent to represent you on a conditional use or variance application and also be authorized to obtain the related permit(s), be sure to check and complete the "permit application" item as well. If an item's box is checked and the accompanying space is left blank, the authorization granted on that item is valid for a period of one year from the date of signature on this form until Becker County Planning and Zoning receives signed, written notification from the property owner(s) stating otherwise or the property's ownership changes.

I (we), Steven F. Lymburner
Leah M. Lymburner hereby authorize Brandon Haggerty to act
 (landowner-print name) (agent-print name)
 as my (our) agent on the following item(s): appropriate box(es)

- permit application (write in permit "type" – e.g. site, septic, etc.): _____
- plat application: _____
- conditional use application: Construction of a 199' telecommunications tower
- variance application: _____
- other: _____

on my (our) property located at:

Tax Parcel Number(s): 050013000 Physical Site Address: County Highway 44, Ponsford, MN 56575

The north half of the west half of the northwest quarter (N1/2 W1/2 NW1/4), Section three (3), Township one hundred forty (140), range thirty-seven (37), Carsonville township, Becker county,

Legal Description: consisting of approximately 38.86 acres.

Section: 3 Township: 140 Range: 37 Lot: N1/2 of W1/2 Block: NW1/4 Plat Name: _____

Agent Contact Information

Agent address: 125 S Clark St. 17th Floor Chicago IL 60603
 Street City State Zip Code
 Agent phone #(s): 773-240-6829 Agent fax #: _____

Agent email address: brandon.haggerty@ntpwireless.com

Leah M. Lymburner 09-06-2019
 Property Owner(s) Signature(s) Date

State of Minnesota
County of Becker Hubbard

On this 6th day of September, 2019 before me personally appeared Steve & Leah Lymburner
 to me known to be the person(s) described in and who executed the foregoing instrument; and acknowledged
 that He/She executed the same as her/his free act and deed.

(Notary Stamp)



Gina Haggard
 Notary Public

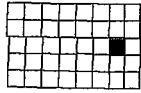
Office Use Only:

Date received: _____ Expiration Date: _____



These data are provided on an "AS-IS" basis, without warranty of any type, expressed or implied, including but not limited to any warranty as to their performance, merchantability, or fitness for any particular purpose.

1:18,056	Date: 9/9/2019
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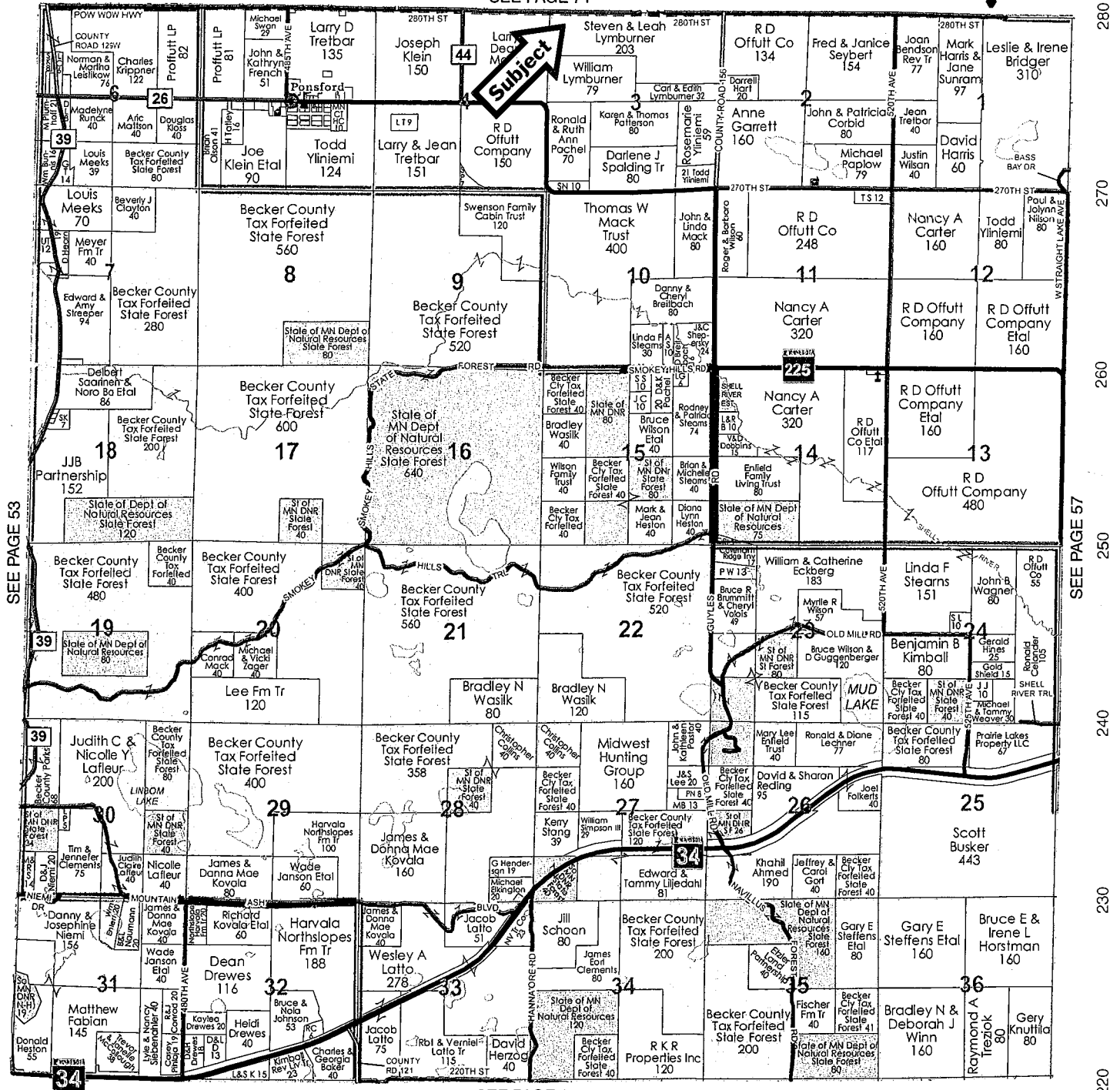
Carsonville

Township 140N - Range 37W

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SEE PAGE 71

SEE PAGE 73



SEE PAGE 39



COUNTY OF BECKER

Planning and Zoning

915 Lake Ave, Detroit Lakes, MN 56501
Phone: 218-846-7314 ~ Fax: 218-846-7266

PLANNING COMMISSION
NOTICE OF PUBLIC HEARING
****HEARING DATE AND LOCATION****
October 8th, 2019 @ 7:00 P.M.

3rd Floor Jury Assembly Room New Addition-Becker County Courthouse
Detroit Lakes, MN 56501

APPLICANT: Mark & Carol Bement
26035 Ottoson Rd
Detroit Lakes, MN 56501

Project Location: Co Hwy 20 Detroit Lakes

APPLICATION AND DESCRIPTION OF PROJECT:

Request a Conditional Use Permit for a 100' x 40' building to have five (5) rentable storage units.

LEGAL LAND DESCRIPTION: Tax ID number: 17.0406.000
Section 35 Township 138 Range 042; W 990' OF SW1/4 OF SE1/4

REFER TO BECKER COUNTY ZONING ORDINANCE

Replies/Comments: Interested parties are invited to submit to the Becker County Department of Planning, Zoning, and Land Use, written facts, arguments or objectives before the scheduled date of the Hearing. These statements should bear upon the suitability of the location and the adequacy of the Project and should suggest any appropriate changes believed to be desirable. Replies may be addressed to:

PLANNING AND ZONING DEPARTMENT
915 Lake Avenue
Detroit Lakes, MN. 56501

FAX Number 218-846-7266
EMAIL: zoning@co.becker.mn.us

If you have questions about the Project, feel free to call 218-846-7314.

Jurisdiction: This Project comes under the Regulatory Jurisdiction of the Becker County Zoning Laws.

Regulatory Authority: This Application will be reviewed according to the provisions of the Becker County Zoning Ordinance. The decision whether to issue a Permit will be based on an evaluation of the probable impact including cumulative impacts, of the proposed activity. That decision will reflect the concern for both protection and utilization of important resources. All factors, which may be relevant to the proposal, will be considered including the cumulative effects: Land Use, Shoreline Protection, Water Supply and Conservation, Safety, Economics, in General, the Needs and Welfare of the People.

** Weather conditions may change the Hearing date and time. If bad weather occurs, please listen to the local Detroit Lakes Radio Stations or contact the Zoning Office, by 4:30 PM on day of Hearing, for possible rescheduling of the Hearing.

Conditional Use Application Review

Permit # CUP2019-4

Property and Owner Review

Owner: MARK BEMENT	Parcel Number(s): 170406000
Mailing Address: MARK BEMENT 26035 OTTOSON RD DETROIT LAKES MN 56501	Site Address: Co Hwy 20 Detroit Lakes, MN 56501
	Township-S/T/R: LAKE EUNICE-35/138/042
	Shoreland? No Name:
Legal Descr: W 990' OF SW1/4 OF SE1/4	

Conditional Use Details Review

Description of Conditional Use Request: **I would like to build a 100' X 40' shop/storage bldg. The building will be spit into 5 rent-able spaces.**

1. Describe how the conditional use permit, if granted, will not harm the use and enjoyment of other properties in the immediate vicinity for the purposes already permitted, nor substantially diminish or impair property values within the immediate vicinity.

The building will be situated on my property in a way that I own the land to the north, (1000') west (1000') and south to county road 20. (250') The couple on the east side of the property have a house that is roughly 300' away from the proposed building, and own the land adjoining mine.

2. Describe how establishing the conditional use will not impede the normal, orderly development and improvement of surrounding vacant property for uses predominant in the area.

As I own the 30 acres around the building, I don't plan to develop it by building houses. The people to the east already have a house and do not intend to build anything between their house and our property line.

3. Describe how adequate utilities, access roads, drainage and other necessary facilities have been or are being provided.

There is access to the building off of county road 20. Access is a nice wide approach. Lake region electric will bring in power from co. 20 to the building site.

4. Describe how adequate measures have been or will be taken to provide sufficient off-street parking and loading space to serve the proposed use.

The proposed parking area to the west of the building is 120' long and 40' wide, plenty of room to park and turn around.

5. Describe how adequate measures have been or will be taken to prevent or control offensive odor, fumes, dust, noise and vibration, so none of these will constitute a nuisance, and to control lighted signs and other lights so that no disturbance to neighboring properties will result.

These are privately rented shops/storage units, traffic will be light. one yard light is planned for security purposes. Once again the nearest house is 300' away. Use of these spaces will be primarily in the daytime. The building will be new and attractive, two tone color. By contract nothing will be allowed to be stored or left outside.

Additional shoreland questions below (if applicable)

6a. Describe how adequate measures have been or will be taken to assure that soil erosion or other possible pollution of public waters will be prevented, both during and after construction.

6b. What measures have been taken to assure that the visibility of structures and other facilities as viewed from public waters will be limited.

6c. What measures have been taken to assure that the site is adequate for water supply and on-site sewage treatment.

6d. Describe how the types, uses and number of watercrafts that the project will generate can be safely accommodated.

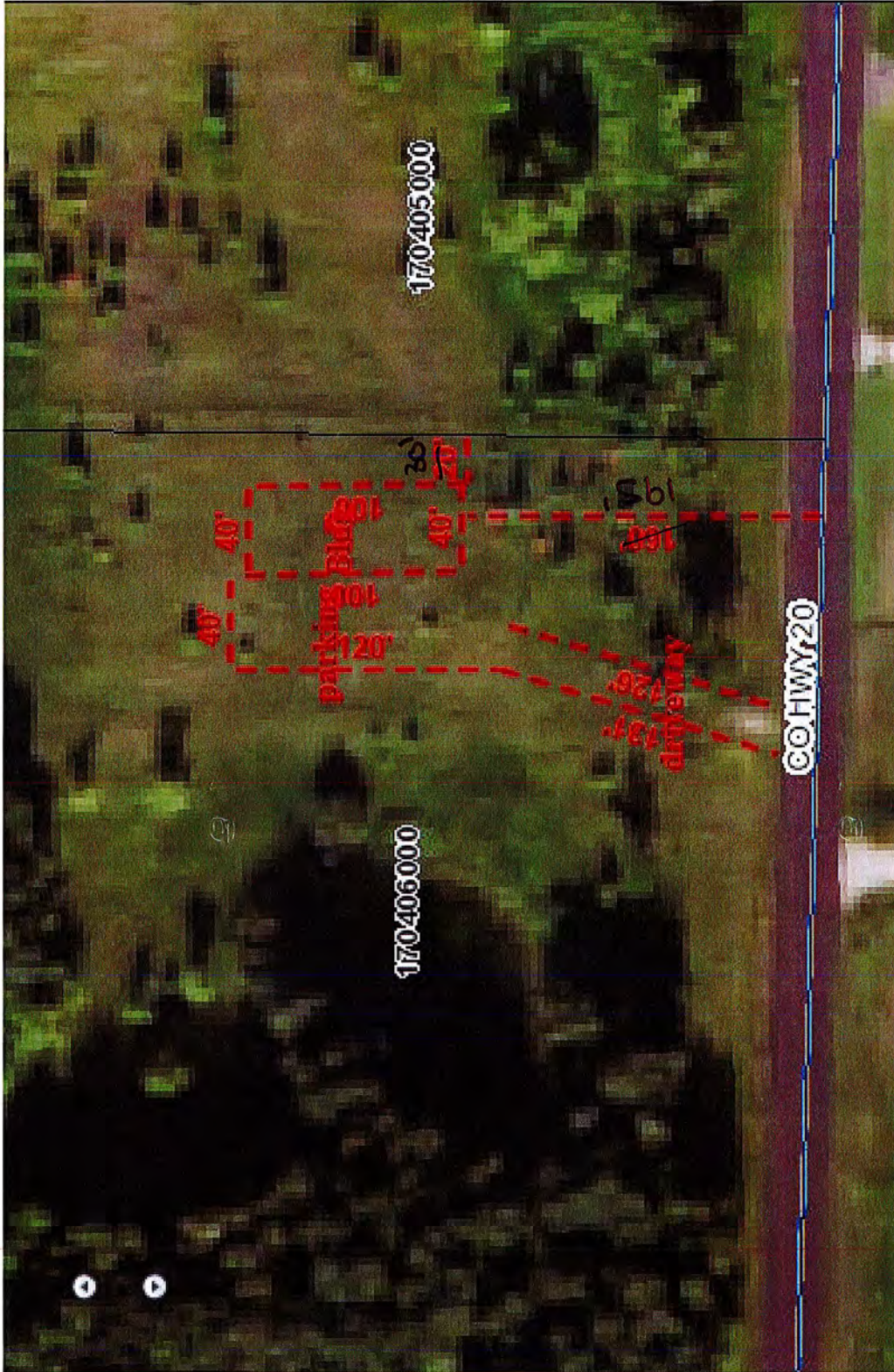
Business Plan Review

Name of Business:

Business Owners:

Business Type: If 'Other', explain:

Type of Merchandise:
Type of Service:
Hours and Days of Operation:
Number of Employees:
Off-Street Parking Plan:
Size of structure to be used for Business: New or Existing:
Signage Plan:
Exterior Lighting Plan:
Known Environmental Hazards:
Additional Business Plan Information:





These data are provided on an "AS-IS" basis, without warranty of any type, expressed or implied, including but not limited to any warranty as to their performance, merchantability, or fitness for any particular purpose.

	1:18,056
This map is not a substitute for accurate field surveys or for locating actual property lines and any adjacent features.	
Date: 9/17/2019	

Becker County





COUNTY OF BECKER

Planning and Zoning

915 Lake Ave, Detroit Lakes, MN 56501

Phone: 218-846-7314 ~ Fax: 218-846-7266

PLANNING COMMISSION NOTICE OF PUBLIC HEARING

****HEARING DATE AND LOCATION****

Tuesday, October 8th, 2019 @ 7:00 P.M.

3rd Floor Jury Assembly Room New Addition-Becker County Courthouse Detroit Lakes, MN 56501

APPLICANT: Kohl Skalin and S. Askelson Project Location: 24959 Co Rd 149, Detroit Lakes
21783 Cozy Cove Rd
Detroit Lakes, MN 56501

APPLICATION AND DESCRIPTION OF PROJECT:

Request a Change of Zone from Agricultural to Residential for Track A (≈1.44 Ac) and Track B (≈1.44 Ac) with remaining track to remain zoned Agricultural.

LEGAL LAND DESCRIPTION: Tax ID number: 08.0056.000

4-139-41 PT GOVT LOT 5: COMM NW COR SEC 4, E 338.1' TO POB; E 328.53', S 1414.86', W 675.99', N 983.56', ELY 338.47', N 394.6' TO POB. TRACT B AND REMAINDER TRACT.

Section 04 Township 139 Range 041

REFER TO BECKER COUNTY ZONING ORDINANCE

Replies/Comments: Interested parties are invited to submit to the Becker County Department of Planning, Zoning, and Land Use, written facts, arguments or objectives before the scheduled date of the Hearing. These statements should bear upon the suitability of the location and the adequacy of the Project and should suggest any appropriate changes believed to be desirable. Replies may be addressed to:

PLANNING AND ZONING DEPARTMENT

915 Lake Avenue
Detroit Lakes, MN. 56501

FAX Number 218-846-7266
EMAIL: zoning@co.becker.mn.us

If you have questions about the Project, feel free to call 218-846-7314.

Jurisdiction: This Project comes under the Regulatory Jurisdiction of the Becker County Zoning Laws.

Regulatory Authority: This Application will be reviewed according to the provisions of the Becker County Zoning Ordinance. The decision whether to issue a Permit will be based on an evaluation of the probable impact including cumulative impacts, of the proposed activity. That decision will reflect the concern for both protection and utilization of important resources. All factors, which may be relevant to the proposal, will be considered including the cumulative effects: Land Use, Shoreline Protection, Water Supply and Conservation, Safety, Economics, in General, the Needs and Welfare of the People.

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SUBDIVISION / ZONE CHANGE
BECKER COUNTY

PLANNING & ZONING

915 LAKE AVENUE, DETROIT LAKES, MN 56501
PHONE (218) 846-7314 - FAX (218) 846-7266

PARCEL	
APP	ZONE / SURVEY
YEAR	
SCANNED	

Application for: Zone Change Certificate of Survey Preliminary Plat
(Complete Section 1) (Complete Section 2) (Complete Section 3)

Applicant's Name: Kohl Skalin

Applicant's Address: 21783 Cozy Cove Road

Telephone(s): 218-850-0235 Date of Application: 8/23/19

Signature of Applicant: [Signature]

Parcel ID Number: 080056000 Project Address: 21783 Cozy Cove Rd

Legal Description of Project:

SECTION 1

*Zone Change For Existing Parcel Number 08005600
Current Zoning AG Requested Zoning Residential

SECTION 2

*Certificate Of Survey: Number of Lots _____
Shoreland (within 1000 ft of lake) _____ Nonshoreland _____
Current Zoning of property _____
Is a change of zone required? _____ yes _____ no
If yes, change from _____ Zone to _____ Zone.
Total acreage of parcel to be subdivided _____
**Include a copy of the purchase agreement if applicant is not the owner of the property.

RECEIVED
SEP 12 2019
ZONING

SECTION 3

*For Preliminary Plat:
Number of Lots _____
Name of Subdivision _____
Name of Proposed Roads _____
Shoreland (within 1000 ft of lake) _____ Non-shoreland _____
Current Zoning of property _____
Is a change of zone required? _____ yes _____ no
If yes, change from _____ Zone to _____ Zone.
Total acreage of parcel to be subdivided _____
**Include a copy of the purchase agreement if applicant is not the property owner.

Date Received _____ Date Accepted _____ Authorized Signature _____
Application Fee _____ Notice Fee Recording Fee _____ Date Paid _____
Receipt Number _____

RECEIVED
AUG 22 2019
ZONING

CERTIFICATE OF SURVEY

IN GOVERNMENT LOT 5 OF
SECTION 4-139-41
BECKER COUNTY, MINNESOTA



Northwest corner of Section 4-139-41



North line of Section 4-139-41

East line of Gov't. Lot 5

North quarter corner of Section 4-139-41



Southerly right of way line of C.S.A.H. No. 149

Northeast corner of the West Half of Gov't. Lot 5

Tract A
3.17 Acres
(C.S.A.H. No. 149 and Cozy Cove right of way = 0.67 Acres)

Tract B
2.88 Acres
(C.S.A.H. No. 149 right of way = 0.38 Acres)

Tract C
0.38 Acres
(C.S.A.H. No. 149 right of way = 0.38 Acres)

06.00560001

See Meadowland Surveying, Inc. Certificate of Survey 1723-15 recorded in Book 17 of Surveys.

66' wide (4 rods) public road easement per 1905 township road order

Field line

Tree line

Wetland per aerial photo

Wetland per aerial photo

Wetland per aerial photo

COVE

WHITE TAIL

Southwesterly corner of Lot 2, Block One, WHITE TAIL MEADOWS

12

13

14

2



These data are provided on an "AS-IS" basis, without warranty of any type, expressed or implied, including but not limited to any warranty as to their performance, merchantability, or fitness for any particular purpose.

1:8,451

Date: 9/11/2019

Becker County



This map is not a substitute for accurate field surveys or for locating actual property lines and any adjacent features.

MEADOWLAND SURVEYING INC.

Surveying the Lakes Area Since 1946

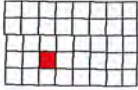
For all your land survey needs, contact our friendly staff at:
1118 Highway 59 South • Detroit Lakes, Minnesota 56501
frontdesk@meadowlandsurveying.com

218-847-4289

www.meadowlandsurveying.com

Meadowland Surveying, Inc. is a local family owned company and has performed over 10,000 surveys in the lakes area. Our office routinely works with attorneys, architects, engineers and governmental agencies to ensure successful project completion for our clients.

EXPERIENCE MATTERS!



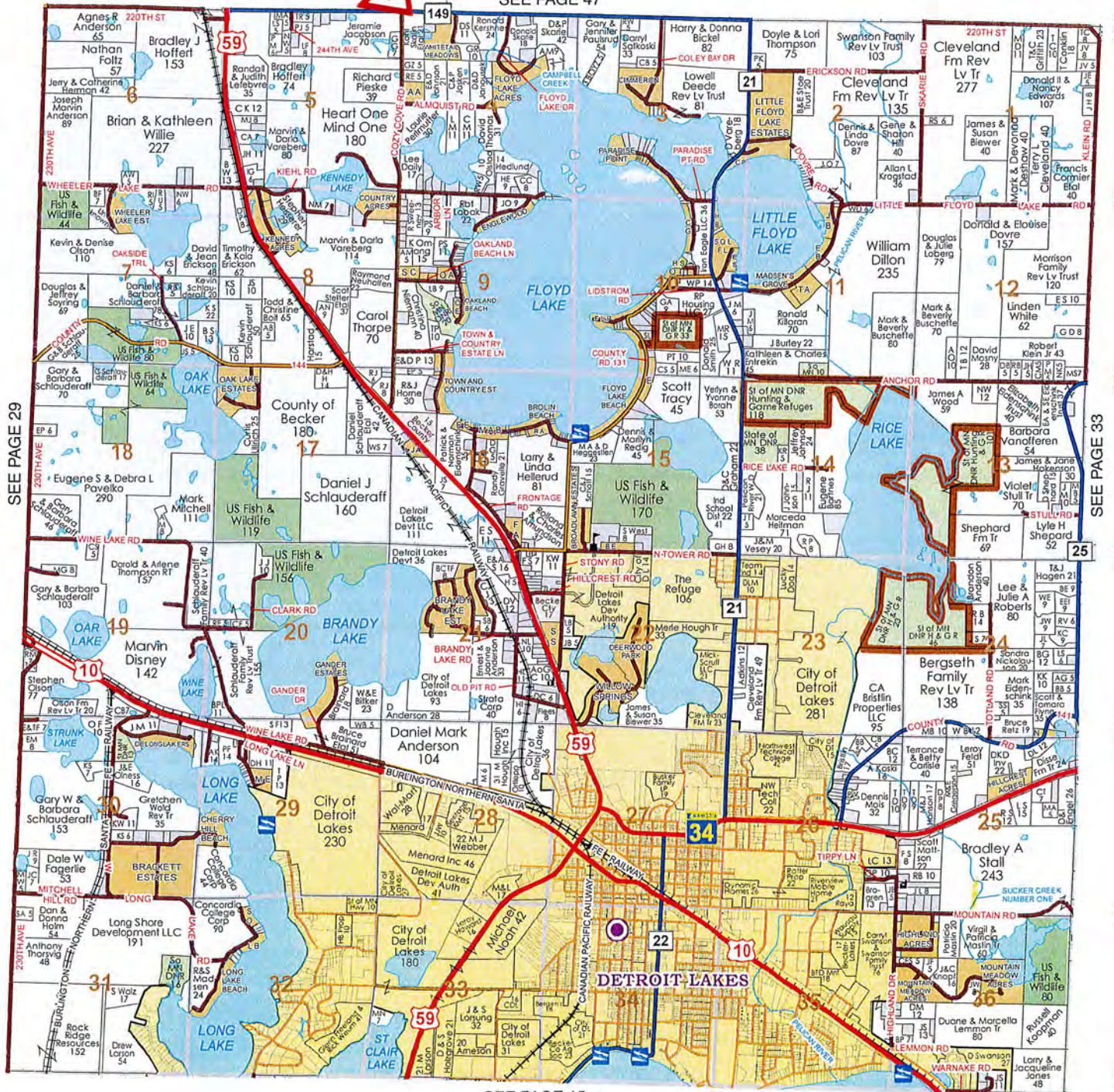
Detroit



Township 139N - Range 41W

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SEE PAGE 15



COUNTY OF BECKER

Planning and Zoning

915 Lake Ave, Detroit Lakes, MN 56501

Phone: 218-846-7314 ~ Fax: 218-846-7266

PLANNING COMMISSION NOTICE OF PUBLIC HEARING

****HEARING DATE AND LOCATION****

Tuesday, October 10, 2019 @ 7:00 P.M.

3rd Floor Jury Assembly Room New Addition-Becker County Courthouse
Detroit Lakes, MN 56501

APPLICANT: J & A Farms LLC
28419 40th Ave. S.
Lake Park, MN 56554

Project Location: Hwy 10 Lake Park, MN 56554

APPLICATION AND DESCRIPTION OF PROJECT:

Request for approval of a Final Plat (The Shores on Boyer Lake).

LEGAL LAND DESCRIPTION: Tax ID numbers: **02.0035.000**; SW1/4 OF SW1/4 S OF TRACK; Section 06 Township 139 Range 042; **02.0047.003**; GOVT LOTS 1 & 2 & NE1/4 OF NW1/4 EX 19 ACRES; Section 07 Township 139 Range 042; **18.0008.000**; BEG AT SE COR SEC 1 TH N ON SEC LN 40 RDS W TO SHORE SAND BCH LK S AL SHR TO SEC LN BET SEC 1 & 2 & E TO BEG; Section 01 Township 139 Range 043; **18.0074.000**; LOT 4; Section 12 Township 139 Range 043. Audubon & Lake Park Townships.

REFER TO BECKER COUNTY ZONING ORDINANCE

Replies/Comments: Interested parties are invited to submit to the Becker County Department of Planning, Zoning, and Land Use, written facts, arguments or objectives before the scheduled date of the Hearing. These statements should bear upon the suitability of the location and the adequacy of the Project and should suggest any appropriate changes believed to be desirable. Replies may be addressed to:

PLANNING AND ZONING DEPARTMENT
915 Lake Avenue
Detroit Lakes, MN. 56501

FAX Number 218-846-7266
EMAIL: zoning@co.becker.mn.us

If you have questions about the Project, feel free to call 218-846-7314.

Jurisdiction: This Project comes under the Regulatory Jurisdiction of the Becker County Zoning Laws.

Regulatory Authority: This Application will be reviewed according to the provisions of the Becker County Zoning Ordinance. The decision whether to issue a Permit will be based on an evaluation of the probable impact including cumulative impacts, of the proposed activity. That decision will reflect the concern for both protection and utilization of important resources. All factors, which may be relevant to the proposal, will be considered including the cumulative effects: Land Use, Shoreline Protection, Water Supply and Conservation, Safety, Economics, in General, the Needs and Welfare of the People.

** Weather conditions may change the Hearing date and time. If bad weather occurs, please listen to the local Detroit Lakes Radio Stations or contact the Zoning Office, by 4:30 PM on day of Hearing, for possible rescheduling of the Hearing.



FINAL PLAT APPLICATION

BECKER COUNTY PLANNING & ZONING

915 LAKE AVENUE, DETROIT LAKES, MN 56501
PHONE (218) 846-7314 - FAX (218) 846-7266

PARCEL	
APP	Plat
YEAR	
SCANNED	

RECEIVED
 SEP 09 2019
 ZONING

Developer's Name: Baer / J & A Farms LLC
 Developer's Address: 28419 40th Aves
Lake Park MN 56554
 Telephone(s): 218-937-5350 Date of Application: 9-10-19

Signature of Applicant: _____

Parcel ID Number: _____ Project Address: Hwy 10 Lake Park MN
18.0006.000, 18.0074.000, 02.0035.000, 02.0047.003 56554
 Proposed Plat Name: The Shores on Boyer Lake

To be completed by Office

Date of preliminary approval: 6-20-17

What was approved & stipulations: stipulations - see attached

Board minutes: residents of subdivision cannot use the
easement Road for access, no right to go east of this subdivision
+ w/ a change in verbiage, that the easement is released

- _____ Final Plat with appropriate landowner, mortgagee, surveyor, notary and township signatures;
- _____ Certification that current year's taxes have been paid; - Mary
- _____ Road Certification from County Highway Engineer on newly constructed roads;
- _____ Road agreement from Township for newly constructed roads; *
- _____ Title Opinion
- _____ Stipulations have been met

Final plat fee, check made payable to Becker County Zoning, amount \$400 ;
20 lots x \$15 = \$300 + \$100 = \$400
 Recording fee, check made payable to Becker County Recorder, amount 50

- Notifications 49x2

498-2
56-R

* 98
\$554

Becker County Planning Commission
June 13th, 2017

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Members Present: Chairman Jim Bruflodt, Vice Chairman John Lien, Harry Johnston, County Commissioner Larry Knutson, Mary Seaberg, Jim Kovala, Jim Kaiser, Bob Merritt, Ray Thorkildson, Planning and Zoning Supervisor Patricia Swenson and Planning and Zoning Technician Jeff Rusness.

Chairman Jim Bruflodt called the Planning Commission meeting to order at 7:00 pm. Planning and Zoning Technician Jeff Rusness recorded minutes. Intros were given.

Chairman Jim Bruflodt explained the protocol for the meeting and stated that the recommendations of the Planning Commission would be forwarded to the County Board of Commissioners for final action on June 20, 2017.

Jim Kovala made a motion to approve the minutes for May 9, 2017 with corrections. Mary Seaberg second. Motion carried.

Old Business:

FIRST ORDER OF BUSINESS: APPLICANT: Luke Weidermann 18856 335th Ave Detroit Lakes, MN 56501 **Project Location:** 18856 335th Ave Detroit Lakes, MN 56501
LEGAL LAND DESCRIPTION: Section 23 Township 139 Range 040 PT NW1/4 OF NE1/4 W OF RIVER **APPLICATION AND DESCRIPTION OF PROJECT:**
Request a Conditional Use permit to fix vehicles on property.

Luke Weidermann explained to the Board that he needs five parking spots to meet the State requirements.

Bruflodt asked where the cars will be parked. Weidermann stated he would move them away from the river.

Knutson stated concerns about the bathroom location and why is it in the shop and not where he is going to selling the vehicles. Weidermann explained that the State requires that a bathroom be provided for the business.

Kovala question the location of the bathroom. Weidermann stated it would be in the shop at his home on the Ottertail River and the business would be located in Frazee.

Weidermann explained that the proposed location of the shop has changed to the top of the hill based on the Board of Adjustment recommendation.

Knutson stated his concerns with the CUP amendment request and questioned what Weidermann's intentions are in regards to the shop and where he is going to be selling the cars.

46 Weidermann explained the CUP request was for five car parking spaces instead of the
47 two car spaces that were previously approved and that he will not be selling cars at the
48 home/shop.
49
50 Lien asked how many vehicles he has on the property currently, because upon site visit
51 there were nine vehicles.
52
53 Weidermann stated the vehicles at his home are personal vehicles and most are used for
54 work.
55
56 Lien stated his concerns about the stipulations of the CUP request and how many cars are
57 actually going to be there.
58
59 Discussion by the Board regarding the amount of total cars and using the River set back
60 of 75 ft. from the water for the vehicle parking.
61
62 Brufloft closed discussion.
63
64 **MOTION: Johnston made a motion to approve the request to amend the**
65 **Conditional Use Permit from two car spaces to five spaces with the stipulation that**
66 **vehicle parking be seventy five feet from the river. Kovala second. All in favor.**
67 **Motion carried.**
68
69 **New Business:**
70
71 **FIRST ORDER OF BUSINESS: APPLICANT: Amon Baer, Baer Bros. Inc 28419**
72 **40th Ave S Lake Park, Mn 56554 Project Location: None enter at same location as**
73 **17087 Hwy 10 Lake Park, Mn 56554 LEGAL LAND DESCRIPTION: Section 7**
74 **Township 139 Range 042 GOVT Lots 1&2 NE1/4 of NW1/4 & Section 6 Township 139**
75 **Range 042 SW1/4SW1/4 & Section 1 Township 139 Range 043 Beg at SE Coner of**
76 **Section 1 thence North on Sec Line a distance of 40 rods & Section 12 Township 139**
77 **Range 043 GOVT Lot 4. APPLICATION AND DESCRIPTION OF PROJECT:**
78 **Request approval of a Preliminary Plat (The Shores on Boyer Lake) and a change of zone**
79 **from agricultural to residential.**
80
81 Scott Walz, Meadowland Surveying, on behalf of Amon Baer, Baer Bros.Inc. explained
82 the request for approval of preliminary plat and change of zone from agricultural to
83 residential to the Board. Walz assured the Board they took into consideration the erosion
84 problem at the base of the bluff. Walz visited the property and the area seems to be
85 revegetating and appears under control.
86
87 Kovala stated his concern that the back lots would have access to the lake. Walz stated
88 that is prohibited by ordinance.
89
90 Kaiser asked Walz about the access road to the lots. Walz stated a public dedicated road
91 will be constructed.

92
93 Merritt stated his concern of the SWCD letter that was received and the erosion problem
94 that has occurred below the bluff.
95
96 Board had discussion regarding the erosion problems and consequence of development in
97 the bluff area.
98
99 Testimony was taken.
100
101 Curt Ullrich, neighbor, was concerned with the road because he has easement to his
102 property.
103
104 Steve Guttormson, neighbor, asked if there would be covenants on the properties.
105
106 Lien and Kaiser explained to Guttormson that zoning does not enforce covenants.
107
108 Correspondence was read from the SWCD stating concerns regarding the bluff and lake
109 degradation.
110
111 Lien asked Walz to explain the road access. Walz explained to the Board that the access
112 will be by public dedicated roadway and the easement will be released and can only serve
113 the properties to the east of the development.
114
115 Merritt stated further concern with the soils and the bluff. He feels if approved it will
116 cause a hazard to homes built on the properties. He would like to see an access lot to the
117 lake because of the erosion problems. Merritt explained slip planes to the Board and how
118 they work. He indicated that he has seen many places in Becker County with this type of
119 erosion control.
120
121 Kaiser stated that a lot of the erosion out in the area is caused by the Highway 10
122 construction and that the applicant should not be penalized for it.
123
124 Moritz stated there is a need to be safe and not cause problems and feels more
125 information is needed on the bluff and erosion problem.
126
127 Merritt believes this is an engineering issue.
128
129 Johnston commented that the houses would be over 150ft back from the lake.
130
131 **MOTION: Kaiser made a motion to approve the preliminary plat (The Shores of**
132 **Boyer Lake) and a change of zone from agricultural to residential with the**
133 **stipulation that residence of the subdivision cannot use easement road for access no**
134 **right to go east of this subdivision. Lien second and Moritz opposed. Majority in**
135 **Favor. Motion carried.**
136

June 2017 County Board Minutes

- b. Over 90-Day Claims:
 - i. Essentia Health, in the amount of \$2,663.30 (multiple 2016 invoices just turned in);
 - ii. Webber Family Motors, in the amount of \$61.76 (invoice just turned in);
- c. Additional Claim:
 - i. Request to add the MN Alliance on Crime invoice, in the amount of \$150.00 (due 06/23/2017).

(Okeson, Skarie), carried.

Auditor-Treasurer: Mary Hendrickson presented:

- 1. Licenses & Permits:
 - a. It was moved and seconded to approve Resolution 06-17-2A, the Gambling Application for Exempt Permit to conduct a Raffle for the Boys and Girls Club of Detroit Lakes, on August 5, 2017 for operations at WeFest Concert Grounds, 25526 County Highway #22, Detroit Lakes, MN, in Lakeview Township. (Nelson, Grimsley), carried.
- 2. It was moved and seconded to accept the May 2017 Cash Comparison and Investment Summary, as presented. (Nelson, Grimsley), carried.
- 3. It was moved and seconded to approve the Becker County Board of Appeals and Equalization meeting minutes of June 13, 2017, as presented. (Okeson, Skarie), carried.
- 4. It was moved and seconded to approve the purchase of payroll software from RT Vision and Optimum Payroll, at a cost of \$43,603.34 for year one (1) and \$11,583.34 for years two (2) and three (3), and with annual Maintenance Fees of \$9,405.00 per year. (Nelson, Skarie), carried.

Planning and Zoning: Patty Swenson presented:

- 1. It was moved and seconded to concur with the Planning Commission (May 9, 2017), to approve the request submitted by Luke Weidemann, to amend the Conditional Use Permit (CUP) from two car spaces to five spaces, for the repair of vehicles at the project location of 18856 335th Avenue, Detroit Lakes, MN, and with the stipulation that vehicle parking be seventy-five (75) feet from the river. (Okeson, Nelson), carried.
- 2. It was moved and seconded to concur with the Planning Commission (May 9, 2017), to approve the preliminary plat (The Shores of Boyer Lake) submitted by Amon Baer, Baer Bros, Inc., for the project located at same location as 17087 Highway 10, Lake Park, MN,

and with a change of zone from Agricultural to Residential, with the stipulation that residents of the subdivision cannot use the easement road for access, no right to go east of this subdivision, and with a change in verbage that the Easement is released based on the fact that it meets the criteria of the subdivision ordinance. (Grimsley, Okeson), carried.

3. It was moved and seconded to concur with the Planning Commission (May 9, 2017), to approve the request submitted by Joseph Miller for a Conditional Use Permit (CUP) for a custom (not retail) Butcher Shop (The Red Barn Butcher Shop), for the project located at 42773 150th Street, Frazee, MN. (Okeson, Skarie), carried.
4. It was moved and seconded to concur with the Planning Commission (May 9, 2017), to approve the request submitted by Ervin Mast for a Conditional Use Permit (CUP) for a pallet stock furniture shop for the project located at 15078 County Road 39, Frazee, MN. (Skarie, Nelson), carried.
5. It was moved and seconded to concur with the Planning Commission (May 9, 2017), to approve the request submitted by Johny Borntreger for a Conditional Use Permit (CUP) for a sawmill, for the project located at 39237 County Road 122, Frazee, MN. (Skarie, Nelson), carried.
6. It was moved and seconded to concur with the Planning Commission (May 9, 2017), to approve the request submitted by Deanna Noel for a Conditional Use Permit (CUP) for a storage building which is to be divided into separate units for storage, for the project located at 40358 Little Toad Lake Road, Frazee, MN. (Grimsley, Okeson), carried.
7. It was moved and seconded to concur with the Planning Commission (May 9, 2017), to approve the request submitted by Chad Stenerson, for a Conditional Use Permit (CUP) to amend CUP Number: 594100, to include serving of liquor, beer, and wine at food and beverage concessions for the project located at 12673 County Highway 17, Detroit Lakes, MN, and with it amended to note that this is for one (1) location only. (Okeson, Grimsley), carried.
8. It was moved and seconded to concur with the Planning Commission (May 9, 2017), to approve the request submitted by Kris Wirth for a change of zone from Agricultural to Commercial, as it meets the criteria of the zoning ordinance, for the project located at 10521 Indy 500 Road, Frazee, MN. (Okeson, Skarie), carried.
9. It was moved and seconded to concur with the Planning Commission (May 9, 2017), to approve a preliminary plat (Townline Acres) submitted by Wetli Properties, consisting of twenty-one (21) lots, for the project located at 10909 Townline Road, Audubon, MN, as it meets the criteria of the zoning ordinance. (Skarie, Okeson), carried.

Zone Change Approval

657292

~~643528~~

Re-record to include parcels
18.0008.000 + 18.0074.000
See attached ~~additional~~
legal descriptions

~~BECKER COUNTY RECORDER
STATE OF MINNESOTA
Document No. 643528
July 7, 2017 at 1:30 PM
I hereby certify that the within
instrument was recorded in this office.
Patricia Swenson, County Recorder
By SKS Deputy~~

BECKER COUNTY RECORDER
STATE OF MINNESOTA
Document No. 657292
February 28, 2019 at 11:54 AM
I hereby certify that the within
instrument was recorded in this office.
Patricia Swenson, County Recorder
By SKS Deputy
BECKER COUNTY ZONING

STATE OF MINNESOTA

CHANGE OF ZONE

COUNTY OF BECKER

This is to certify that under the Zoning Ordinance of Becker County, Property described as follows may be used as indicated:

ADDRESS OF PROPERTY: Hwy 10, Audubon Township

PRESENT ZONE: Agricultural The Present Zone has been changed to Residential.

LEGAL DESCRIPTION OF PARCEL TO BE REZONED: PID Number 02:0035.000 & 02:0047.003

Complete Legal Description: See Attachment A.

OWNER:
Baer Bros, Inc.

OWNER'S ADDRESS:
28419 40th Ave S, Lake Park, MN 56554

NOTICE: THIS ZONE CANNOT BE CHANGED TO ANY OTHER ZONE WITHOUT A NEW PUBLIC HEARING THROUGH COUNTY PROCEDURE.

APPROVED BY THE BECKER COUNTY PLANNING COMMISSION 06/13 20 17
APPROVED BY THE BECKER CO. BOARD OF COMMISSIONERS 06/20 20 17

STATE OF MINNESOTA)

) SS

BECKER COUNTY PLANNING, ZONING
AND LAND USE OFFICE

COUNTY OF BECKER)

I, Patricia L. Swenson, Becker County Zoning Administrator, certify that I have compared the foregoing copy of PERMIT FOR USE with the original Record preserved in the Zoning Office, and have found the same to be true and correct.

IN TESTIMONY WHEREOF, I have hereunto subscribed my hand at Detroit Lakes, Minnesota, in the County of Becker on the 22nd day of June 20 17.

Xo Drafted by the Becker County
Zoning Department

Patricia Swenson
Patricia L. Swenson, Administrator

ATTACHMENT A

No chg
paid
well

Xchg
paid
well

Tract 1: Parcel No. 02.0047.003

All that part of Government Lot One (1), and the Northeast Quarter of the Northwest Quarter (NE $\frac{1}{4}$ NW $\frac{1}{4}$) lying South of the right-of-way of the Northern Pacific Railway Company; and Government Lot Two (2), SECTION 7, TOWNSHIP 139 NORTH, RANGE 42 WEST OF THE FIFTH PRINCIPAL MERIDIAN in Becker County, Minnesota.

LESS the following two (2) tracts:

(1) That part of Government Lot 2 of Sec. 7, Twp. 139N., Rge. 42 West of the 5th P.M. in Becker County, Minnesota, described as follows:

Commencing at an iron monument which designates the north quarter corner of said Sec. 7; thence S. 03° 51' 26" E. 663.21 ft. on an assumed bearing along the north-south quarter line of said Sec. 7 to an iron monument on the southwesterly right of way line of Trunk Highway No 10; thence continuing S. 03° 51' 26" E. 618.38 ft. along said north-south quarter line to an iron monument; thence S. 63° 59' 11" W. 604.89 ft. to a point hereinafter referred to as Point A; thence continuing S. 63° 59' 11" W. 30.33 ft. to an iron monument, said point is the point of beginning; thence N. 63° 59' 11" E. 435.22 ft.; thence S. 00° 03' 37" W. 857.47 ft.; thence S. 08° 22' 25" E. 169.27 ft.; thence N. 84° 09' 28" E. 230.63 ft. to said north-south quarter line; thence S. 03° 51' 26" E. 226.35 ft. along said north-south quarter line to an iron monument at the southeast corner of said Government Lot 2; thence S. 84° 01' 56" W. 145.06 ft. along the south line of said Government Lot 2 to an iron monument; thence continuing S. 84° 01' 56" W. 24 ft., more or less, along the south line of said Government Lot 2 to the water's edge of Boyer Lake; thence northwesterly along the water's edge of said Boyer Lake to the intersection with a line which bears S. 48° 28' 17" West from the point of beginning; thence N. 48° 28' 17" E. 30 ft., more or less, to an iron monument; thence continuing N. 48° 28' 17" E. 359.45 ft. to the point of beginning.

SUBJECT TO and HEREIN INCLUDED is a 66.00 foot wide easement for roadway purposes over, under and across part of said Government Lot 2, part of the SW $\frac{1}{4}$ of the NE $\frac{1}{4}$, and part of the above described tract.

The centerline of said 66.00 foot wide roadway easement is described as follows:

Beginning at the afore mentioned Point A; thence easterly on a curve concave to the north, having a central angle of 23° 59' 48" and a radius of 450.00 ft. for a distance of 188.47 ft. (chord bearing S. 76° 27' 41" East); thence S. 88° 27' 35" E. 195.95 ft.; thence southeasterly on curve concave to the southwest, having a central angle of 64° 13' 03" and a radius of 200.00 ft., for a distance of 224.16 ft. (chord bearing S. 56° 21' 03" East); thence S. 24° 14' 32" E. 140.00 ft. and said centerline there terminates. At the point of beginning of said easement centerline the sidelines of said easement shall be prolonged or shortened to terminate on the northwesterly boundary of the above described tract. At the point of termination of said centerline the sidelines of said easements shall terminate on a line which bears N. 65° 45' 28" East and S. 65° 45' 28" West from said point of termination.

ALSO HEREIN INCLUDED is an easement for parking and driveway purposes over, under and across that part of the SW¼ of the NE¼ of said Sec. 7 described as follows:

Commencing at an iron monument which designates the north quarter corner of said Sec. 7; thence S. 03° 51' 26" E. 1811.22 ft. on an assumed bearing along said north-south quarter line to the point of beginning; thence continuing S. 03° 51' 26" E. 276.32 ft. along said north-south quarter line; thence N. 86° 08' 34" E. 203.97 ft.; thence N. 03° 51' 26" W. 276.32 ft.; thence S. 86° 08' 34" W. 203.97 ft. to the point of beginning of said easement.

AND

ALSO HEREIN INCLUDED is a 33.00 foot wide easement for driveway purposes over, under and across that part of the W½ of the NE¼ of said Sec. 7. The centerline of said 33.00 foot wide driveway easement is described as follows:

Commencing at an iron monument which designate the north quarter corner of said Sec. 7; thence S. 03° 51' 26" E. 663.21 ft. on an assumed bearing along said north-south quarter line to an iron monument on the southwesterly right of way line of said Trunk Highway no. 10; thence S. 69° 08' 27" E. 1101.78 ft. along the southwesterly right of way line of said Trunk Highway No. 10 to the point of beginning of said easement centerline; thence S. 17° 54' 47" W. 202.08 ft.; thence southwesterly on a curve concave to the northwest, having a central angle of 43° 36' 54" and a radius of 775.81 ft., for a distance of 590.57 ft. (chord bearing S. 39° 43' 14" West); thence S. 61° 31' 41" W. 357.02 ft. and said easement centerline there terminates. The sidelines of the northerly end of said easement are prolonged or shortened to terminate on the southwesterly right of way line of said Trunk Highway No. 10 and the sidelines of the westerly end of said easement are prolonged or shortened to terminate on a line 203.97 ft. easterly of and parallel with said north-south quarter line.

AND

ALSO HEREIN INCLUDED is a 66.00 foot wide easement for roadway purposes over, under and across that part of said Government Lot 2, that part of the NE¼ of the NW¼ and that part of Government Lot 1 of said Sec. 7 and that part of Government Lot 7 of Sec. 6 of said Twp. 139N., Rge. 42 West. The centerline of said 66.00 foot wide road easement is described as follows:

Beginning at the aforementioned Point A; thence northwesterly on a curve concave to the northeast, having a central angle of 12° 46' 07" and a radius of 450.00 ft., for a distance of 100.28 ft. (chord bearing North 58° 04' 44" West); thence N. 51° 41' 40" West 1507.24 ft.; thence N. 50° 53' 00" W. 299.11 ft.; thence northwesterly on a curve concave to the northeast, having a central angle of 36° 23' 39" and a radius of 240.00 ft., for a distance of 152.45 ft. (chord bearing N. 32° 41' 10" West) to the north line of said Government Lot 1; thence northerly continuing on a curve concave to the east, having a central angle of 30° 10' 32" and a radius of 240.00 ft., for a distance of 126.40 ft. (chord bearing N. 00° 35' 55" East); thence N. 15° 41' 11" E. 186 ft., more or less, to the southwesterly right of way line of said Trunk Highway No. 10 and said centerline there terminates.

The sidelines of said 66.00 foot wide road easements shall be prolonged or shortened to terminate on the northwesterly boundary of the above described tract and on the southwesterly right of way line of said Trunk Highway No. 10.

(2) That part of the NE $\frac{1}{4}$ of the NW $\frac{1}{4}$ and that part of Government Lot 2 of Sec. 7, 139N., Rge. 42 West of the 5th P.M. in Becker County, Minnesota, described as follows:

Commencing at an iron monument which designates the north quarter corner of said Sec. 7; thence S. 03° 51' 26" E. 663.21 ft. on an assumed bearing along the north-south quarter line of said Sec. 7 to an iron monument on the southwesterly right of way line of Trunk Highway No. 10; thence continuing S. 03° 51' 26" E. 618.38 ft. along said north-south quarter line to an iron monument; thence S. 63° 59' 11" W. 604.89 ft. to a point hereinafter referred to as Point A; thence N. 63° 59' 11" E. 604.89 ft. to an iron monument on said north-south quarter line, said point is the point of beginning; thence S. 03° 51' 26" E. 1091.65 ft. along said north-south quarter line; thence S. 84° 09' 28" W. 230.63 ft.; thence N. 08° 22' 25" W. 169.27 ft.; thence N. 00° 03' 37" E. 857.47 ft.; thence N. 63° 59' 11" E. 200.00 ft. to the point of beginning.

SUBJECT TO and HEREIN INCLUDED is a 66.00 foot wide easement for roadway purposes over, under and across that part of said Government Lot 2, part of the SW $\frac{1}{4}$ of the NE $\frac{1}{4}$ of said Sec. 7 and part of the above described tract. The centerline of said 66.00 foot wide roadway easement is described as follows:

Beginning at the afore mentioned Point A; thence easterly on a curve concave to the north, having a central angle of 23° 59' 48" and a radius of 450.00 ft., for a distance of 188.47 ft. (chord bearing S. 76° 27' 41" East); thence S. 88° 27' 35" E. 195.95 ft.; thence southeasterly on a curve concave to the southwest, having a central angle of 64° 13' 03" and a radius of 200.00 ft., for a distance of 224.16 ft. (chord bearing S. 56° 21' 03" East); thence S. 24° 14' 32" E. 140.00 ft. and said centerline there terminates. At the point of beginning of said easement centerline the sidelines of said easement shall be prolonged or shortened to terminate on a line which bears N. 63° 59' 11" East and South 63° 59' 11" West from said Point A. At the point of termination of said centerline the sidelines of said easement shall terminate on a line which bears N. 65° 45' 28" East and S. 65° 45' 28" West from said point of termination.

ALSO HEREIN INCLUDED is an easement for parking and driveway purposes over, under and across that part of the SW $\frac{1}{4}$ of the NE $\frac{1}{4}$ of said Sec. 7 described as follows:

Commencing at an iron monument which designates the north quarter corner of said Sec. 7; thence S. 03° 51' 26" E. 1811.22 ft. on an assumed bearing along said north-south quarter line to the point of beginning; thence continuing S. 03° 51' 26" E. 276.32 ft. along said north-south quarter line; thence N. 86° 08' 34" E. 203.97 ft.; thence N. 03° 51' 26" W. 276.32 ft.; thence S. 86° 08' 34" W. 203.97 ft. to the point of beginning of said easement.

AND

ALSO HEREIN INCLUDED is a 33.00 foot wide easement for driveway purposes over, under and across that part of the W $\frac{1}{2}$ of the NE $\frac{1}{4}$ of said Sec. 7. The centerline of said 33.00 foot wide driveway easement is described as follows:

Commencing at an iron monument which designate the north quarter corner of said Sec. 7; thence S. 03° 51' 26" E. 663.21 ft. on an assumed bearing along said north-south quarter line to an iron monument on the southwesterly right of way line of said Trunk Highway no. 10; thence S. 69° 08' 27" E. 1101.78 ft. along the southwesterly right of way line of said Trunk Highway No. 10 to the point of beginning of said easement centerline; thence S. 17° 54' 47" W. 202.08 ft.; thence southwesterly on a curve concave to the northwest, having a central angle of 43° 36' 54" and a radius of 775.81 ft., for a distance of 590.57 ft. (chord bearing S. 39° 43' 14" West); thence S. 61° 31' 41" W. 357.02 ft. and said easement centerline there terminates. The sidelines of the northerly end of said easement are prolonged or shortened to terminate on the southwesterly right of way line of said Trunk Highway No. 10 and the sidelines of the westerly end of said easement are prolonged or shortened to terminate on a line 203.97 ft. easterly of and parallel with said north-south quarter line.

AND

ALSO HEREIN INCLUDED is a 66.00 foot wide easement for roadway purposes over, under and across that part of said Government Lot 2, that part of said NE¼ of the NW¼, and that part of Government Lot 1 of said Sec. 7 and that part of Government Lot 7 of said Sec. 6 of said Twp. 139N., Rge. 42 West. The centerline of said 66.00 foot wide road easement is described as follows:

Beginning at the afore mentioned Point A; thence northwesterly on a curve concave to the northeast, having a central angle of $12^{\circ} 46' 07''$ and a radius of 450.00 ft., for a distance of 100.28 ft. (chord bearing N. $58^{\circ} 04' 44''$ West); thence N. $51^{\circ} 41' 40''$ W. 1507.24 ft.; thence N. $50^{\circ} 53' 00''$ W. 299.11 ft.; thence northwesterly on a curve concave to the northeast, having a central angle of $36^{\circ} 23' 39''$ and a radius of 240.00 ft., for a distance of 152.45 ft. (chord bearing N. $32^{\circ} 41' 10''$ West) to the north line of said Government Lot 1; thence northerly continuing on a curve concave to the east, having a central angle of $30^{\circ} 10' 32''$ and a radius of 240.00 ft., for a distance of 126.40 ft. (chord bearing N. $00^{\circ} 35' 55''$ East); thence N. $15^{\circ} 41' 11''$ E. 186 ft., more or less, to the southwesterly right of way line of said Trunk Highway No. 10 and said centerline there terminates. At the point of termination of said centerline the sidelines of said 66.00 foot wide road easement shall be prolonged or shortened to terminate on the southwesterly right of way line of said Trunk Highway No. 10 and at the point of beginning of said centerline the sidelines of said 66.00 foot wide road easement shall be prolonged or shortened to terminate on a line which bears N. $63^{\circ} 59' 11''$ East and S. $63^{\circ} 59' 11''$ West from said point of beginning.

Tract 2: Parcel No. 18.0074.000 and Parcel No. 02.0035.000

Government Lot 4, Section 12, Township 139N, Range 43W of the Fifth Principal Meridian in Becker County, Minnesota;

AND

All that part of the SW1/2 SW1/4 of Section 6, Township 139N, Range 42W of the Fifth Principal Meridian, Becker County, Minnesota, lying and being South of the right-of-way line of the Northern Pacific Railway Company.

SUBJECT TO a 66.00 foot wide easement for road purposes, over, under and across that part of the above described tract located in Section 6, Township 139N, Range 42W, as disclosed in that certain Warranty Deed recorded as Microfilm No. 410617.

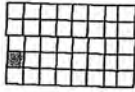
Tract 3: Parcel No. 18.0008.000

Beginning at the Southeast Corner of Section 1, Township 139N, Range 43W of the Fifth Principal Meridian and thence running North on the Section line a distance of 40 rods, thence West to the Shore of Sand Beach Lake; thence South along the East Shore of said Lake to the South line of said Section 1. Thence East on the Section line to place of beginning.

A Marketing Company

"Serve, Connect and Celebrate
Our Community"

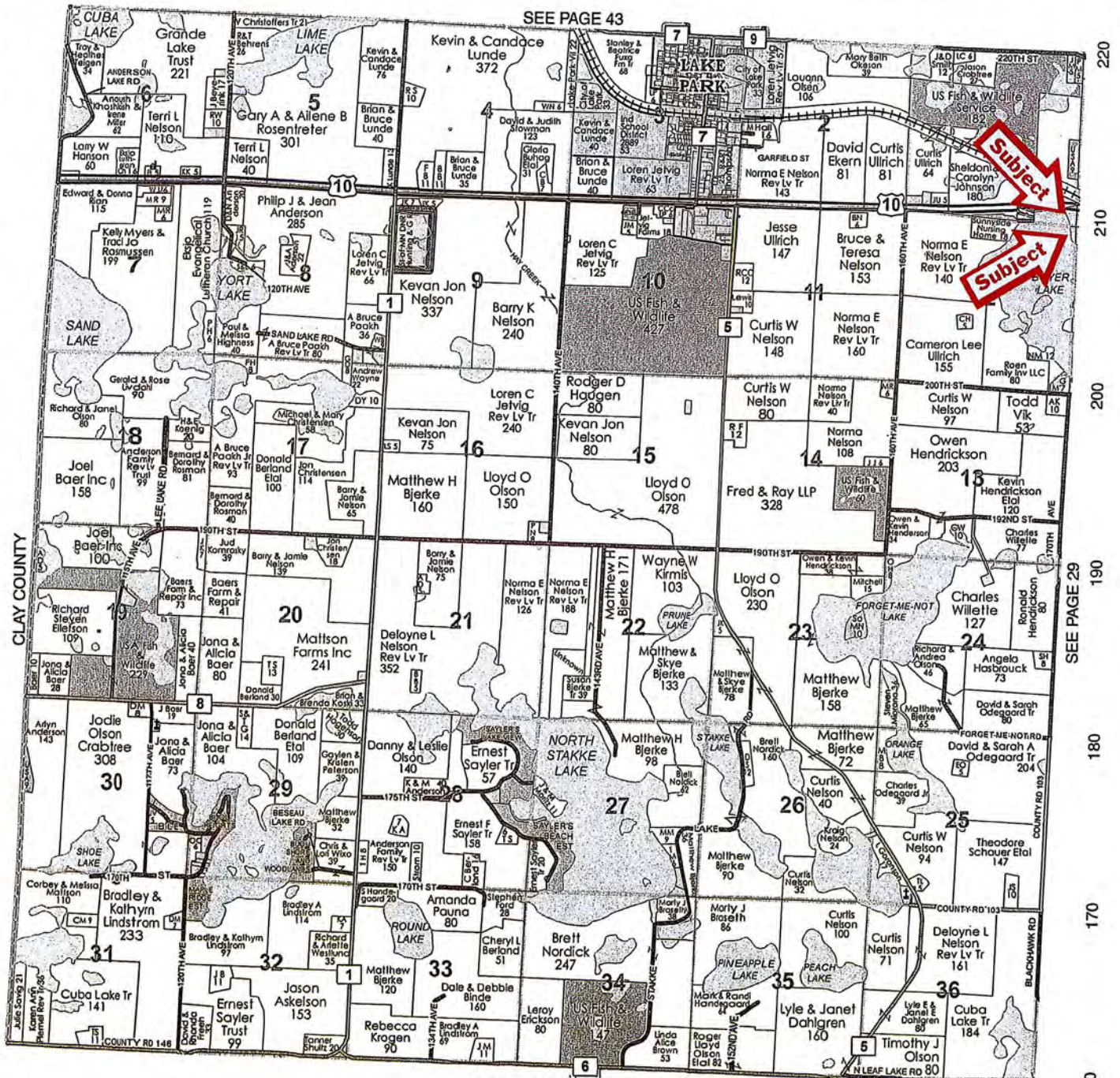
1340 Richwood Rd.
Detroit Lakes, MN 56501
Phone: 218-847-5624



Lake Park

Township 139N - Range 43W

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COUNTY OF BECKER

Planning and Zoning

915 Lake Ave, Detroit Lakes, MN 56501

Phone: 218-846-7314 ~ Fax: 218-846-7266

PLANNING COMMISSION

NOTICE OF PUBLIC HEARING

****HEARING DATE AND LOCATION****

October 8th, 2019 @ 7:00 P.M.

3rd Floor Jury Assembly Room New Addition-Becker County Courthouse
Detroit Lakes, MN 56501

APPLICANT: Richard & Dana Laine
20781 Co Rd 117
Osage, MN 56570

Project Location: 20781 Co Rd 117

APPLICATION AND DESCRIPTION OF PROJECT:

Request a Conditional Use Permit for a Commercial Planned Unit Development (PUD) to have 14 RV sites and a 21 slip dock system.

LEGAL LAND DESCRIPTION: Tax ID number: 33.0118.000
Section 10 Township 139 Range 038 LOT 1 & SW1/4 OF NW1/4

REFER TO BECKER COUNTY ZONING ORDINANCE

Replies/Comments: Interested parties are invited to submit to the Becker County Department of Planning, Zoning, and Land Use, written facts, arguments or objectives before the scheduled date of the Hearing. These statements should bear upon the suitability of the location and the adequacy of the Project and should suggest any appropriate changes believed to be desirable. Replies may be addressed to:

PLANNING AND ZONING DEPARTMENT

915 Lake Avenue
Detroit Lakes, MN. 56501

FAX Number 218-846-7266

EMAIL: zoning@co.becker.mn.us

If you have questions about the Project, feel free to call 218-846-7314.

Jurisdiction: This Project comes under the Regulatory Jurisdiction of the Becker County Zoning Laws.

Regulatory Authority: This Application will be reviewed according to the provisions of the Becker County Zoning Ordinance. The decision whether to issue a Permit will be based on an evaluation of the probable impact including cumulative impacts, of the proposed activity. That decision will reflect the concern for both protection and utilization of important resources. All factors, which may be relevant to the proposal, will be considered including the cumulative effects: Land Use, Shoreline Protection, Water Supply and Conservation, Safety, Economics, in General, the Needs and Welfare of the People.

** Weather conditions may change the Hearing date and time. If bad weather occurs, please listen to the local Detroit Lakes Radio Stations or contact the Zoning Office, by 4:30 PM on day of Hearing, for possible rescheduling of the Hearing.



~ CONDITIONAL USE APPLICATION ~

BECKER COUNTY PLANNING & ZONING

915 LAKE AVENUE, DETROIT LAKES, MN 56501
PHONE (218) 846-7314 - FAX (218) 846-7266

PARCEL	
APP	CUP
YEAR	
SCANNED	

PROPERTY OWNER INFORMATION (as it appears on tax statement, purchase agreement or deed)

Are you the property owner or the Authorized Agent? Owner Authorized Agent

*Authorized Agents must attach a completed Authorized Agent Form

Parcel number(s) of property: 33.0118.000

Property Owner Name(s): Richard and Dana Laine

Mailing Address: 20781 Co Rd 117 City, State, Zip Osage, MN 56570

Phone Number(s): 218 849-4537 DANA
218 573-3415 HOME
218 841-1230 RICHARD Owner Email Address lainedana@hotmail.com

Project Address: 20781 Co Rd 117 City, State, Zip Osage, MN 56570

Watershed Management District: _____ Pelican _____ Cormorant Other Ottertail

Township Name: Toad Lake Sect - Twp - Range: 10 - 139 - 38

Legal Description: Lot 1 and SW 1/4 of NW 1/4

Property Size 35.92 ACRES Is there a pond or wetland on the property? Yes No

Is any part of the property within 1,000 feet of a like lake or within 300 feet of a river/stream? Yes No

REASON FOR CONDITIONAL USE REQUEST:

We want to develop a 14 unit RV park "Ly-Nee's RV Sites" with a 21 slip dock system; 12x24 Well house; 2 picnic shelters a road between 2 rows of R.V.'s; parking area's; common area's

The information provided for this document is truthful and accurate to the best of my knowledge. I understand that this statement is null and void if any of the above information is not supplied or is inaccurate.

Richard Laine Dana Laine 4-17-19
SIGNATURE OF APPLICANT DATE

OTHER INFORMATION NEEDED TO COMPLETE THE APPLICATION:

1. A copy of the deed from the Recorder's Office;
- ✓ 2. Completed Site Application with sketch showing all setbacks, platted or surveyed dimensions of the lot and all existing and proposed buildings; parking area and all other materials deemed necessary.
3. Is the request in relation to some sort of business endeavor or commercial activity (home business, campground) Yes No
4. Non-refundable filing fee of \$280 (\$380.00 if Commercial). If in Cormorant Township add \$25.00 surcharge to the filing fee. Make check payable to Becker County Zoning. A second check to record the document of \$46 made payable to Becker County Recorder.
5. Is the conditional use permit request after the fact? Is the request in the application already in place or operation? Yes No
If yes, after the fact application fee is an additional \$600.00.

Office Use Only
This application is hereby (accepted) or (rejected) as presented.

SIGNATURE - ZONING ADMINISTRATOR DATE



PARCEL	
APP	CUP
YEAR	

BUSINESS PLAN

Name of Business: Ly-Nee RV SITES

Business Owners: Richard and Dana Laine

Owners of Business: Richard and Dana Laine

Type of Business: Retail Sales Service Other X

If other type of business please describe: 14 unit Recreational Vehicle site

Type of Merchandise: N/A

Type of Service: N/A

Hours and Days of Operation: Seasonal occupancy May 1 - September 30

Number of Employees: Owner operator's (2)

Off - street Parking Plan: Each unit parks 2 vehicles; addition parking for carts + trailers

Size of Structure to be used for Business: 12x24 well house - 2 picnic shelters

New Structure: 12x24 well house Existing Structure: NONE

Signage Plan: 48 Sq ft Ly-Nee RV Site; speed limit; Invasive species; Directional; Site numbers

Exterior Lighting Plan: MN statute overhead security light; Soft hue bulb - Solar lighting on paths

Any known Environmental Hazards: [] Yes [X] No

If yes please Explain: _____

Any Additional Business Plan Information: Surveying-done; wetland delineation-done; SWPPP done, Tenant Contract-Park rules-done; lot sizes far exceed state minimums, We've had two pre-app meetings, reassessed-dreamed smaller. Midwest Bank will finance. We've consulted: Septic, electric, plumbing, well drilling, earth moving contractors. All are ready to go. All are licensed according to MN Statute.

Please answer the following questions as they relate to your specific CUP request:

1. **Effect on surrounding property.** That the conditional use will not harm the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, or substantially diminish or impair property values within the immediate vicinity.

We do not anticipate any harm in the use and enjoyment of other property in the immediate vicinity. We own the land to the North of the proposed site to 210th Street; to the South, the property line will start at the existing driveway to the South of the sites and includes two different parcels before sharing a property line with a neighbor; the rest of our farm acreage lies to the East of the sites and our property line includes the land across County Road 117 to the shores of Toad Lake which is to the West. (2131 feet of lakeshore) We planted over 100 trees last summer along the sides and back of the site area. We believe that a well managed RV park on a recreational lake will positively affect local property values.

2. **Effect on orderly, consistent development.** That establishing the conditional use will not impede the normal, orderly development and improvement of surrounding vacant property for uses predominant in the area.

There are no surrounding vacant lots or projects currently being planned in our area. Becker County has a five year plan that possibly includes working on County Road 117. Our goal is to have the infrastructure done before the end of this season and to have some RV owners committed to next season, possibly setting up their site this fall.

3. **Adequate facilities.** That adequate utilities, access roads, drainage and other necessary facilities have been or are being provided.

Adequate facilities will be provided during, as is practically possible, and upon completion of the project. We have completed Wetland Delineation; a copy of the report from Aquatic Solutions is available. We have completed a **SWPPP (drainage)**; a report from Jane and Stewart Hofland is available. We hired Compass Consultants, Inc. to survey the project site. A one way access road runs North to South between the two rows of RV's and connects with the existing driveway. (easement will be addressed) speed limit signs will be posted; Consultations have been made with Johnson Well Drilling (**water**); we plan to build a **12x24 well house** and are researching **storm shelter** options. Wade's Plumbing and Bergstrom Backhoe will be doing the **septic system** and **plumbing**; Itasca Mantrap and Frazee Electric have been consulted for **utilities**. There will be two picnic shelters; one in front for viewing the lake and one behind the RV's. Each site can have a fire ring.

4. **Adequate parking.** That adequate measures have been or will be taken to provide sufficient off-street parking and loading space to serve the proposed use.

There will be no street parking. Each RV site will have ample room to park two (2) vehicles. The area per unit in the front row are 5595 to 5600 square feet; the second row area per unit measures from 3515 to 3883 square feet, far exceeding the minimum 2500 square feet required. There will be a golf cart parking area allowed in a portion of a common area; initially, boat trailers and toys i.e. paddle boats will

be parked behind the back row of RV's until we can assess and provide a better option when the RV's are on the ground.

5. **Not a nuisance.** That adequate measures have been or will be taken to prevent or control offensive odor, fumes, dust, noise and vibration, so none of these will constitute a nuisance. And to control lighted signs and other lights so that no disturbance to neighboring properties will result.

***We will do everything within our power to mitigate anything that could be construed as a nuisance.** Our location (described in #1) is ideal for this small RV site. There is ample space on the sites and from neighboring properties that would allow us the ability to prevent or control the listed nuisances. Our neighbors at Bambi's Resort have been supportive and helpful by providing us with a copy of their **Tenant Contract, including park rules, regulations and expectations.** We will provide a copy to all tenants. **Pets will be leashed, garbage will be covered,** and we'll provide a **large trash container** with signage about **recycling.** We will be living within earshot so if noise becomes a nuisance, we'll be able to address it quickly. Lighting will follow MN Statute, we anticipate using a bulb with a soft orange hue. Paths will be lighted with solar lighting.*

6. **Additional criteria for shoreland areas.** In Shoreland areas, it shall be found that adequate measures have been or will be taken to assure that:
 - a. **Pollution.** Soil erosion or other possible pollution of public waters will be prevented, both during and after construction.

***We will adhere to all MN Statutes concerning pollution controls during and after the project is completed.** The SWPPP report addresses all the necessary steps we will need to take to **prevent soil erosion or other possible pollution of public waters.** The shoreline calculations allow for a 21 slip dock system for this project. Given the high probability that RV owners would like to put a boat in the lake and that they would want to keep it on a lift when not in use, a 21 slip dock would allow each of the 14 RV sites one slip for a boat or a pontoon. With respect for the aquatic plant life and the eco system we will undoubtedly impact, we will seek and follow the recommendations of the DNR concerning the **least invasive** way to put the dock system into the lake.*

- b. **View from public waters.** That the visibility of structures and other facilities as viewed from public waters will be limited.

***There are trees on the west side of County Road 117 (lake side), that limit the view of structures and facilities, from the lake in the summer.** It is our plan to plant enough trees and shrubs to beautify the west side of the RV Park without impeding people's view the lake from their sites. For safety reasons, we **plan to erect a fence** along the west side of the grounds, with an **opening, located across from the dock system,** so that we can funnel foot traffic to a specific area so people can cross County Road 117 to get to the dock. At this time, we have no designated swimming area.*

- c. **Adequate utilities.** That the site is adequate for water supply and on-site sewage treatment; and

The site is adequate for water supply and on-site sewage treatment. Johnsons well drilling; Wade's Plumbing; Frazee Electric; Itasca Mantrap; Bergstrom Backhoe have all been consulted. Wade came to the site and sees no challenges with it. All of these entities are waiting for us to call. MN Statutes will be followed and have been discussed.

- d. **Watercraft.** That the types, uses, and number of watercrafts that the project will generate can be safely accommodated.

*The dock system will be built to safely accommodate the number of watercrafts and signage will be placed in appropriate areas and the rules will be provided in the Tenant Contract packet. The shoreline calculations allow for a 21 slip dock system for this project. Given the high probability that RV owners would like to put a boat in the lake and that they would want to keep it on a lift when not in use, a 21 slip dock would allow each of the 14 RV sites one slip for a boat or a pontoon. With respect for the aquatic plant life and the eco system we will undoubtedly impact, we will seek and follow the recommendations of the DNR concerning the **least invasive** way to put the dock system into the lake. RV owners will use the public access at the South end and North end of Toad Lake to put in and take out their watercraft. There will be a **parking area for tenant's trailers** at Ly-Nee's RV Sites. **We will add an Invasive species sign by the dock and provide a flyer in the Tenant Contract packet.***

392232

WARRANTY DEED

Form No. 5-M

Individual(s) to Joint Tenants

No delinquent taxes and transfer entered;
Certificate of Real Estate Value () filed
() not required
Certificate of Real Estate Value No. 1190

November 6 1992

Keith S. Brakham

County Auditor

By MH Deputy
32,018.000

STATE DEED TAX HEREON: \$ 165.00

Date: November 6 1992

BECKER COUNTY RECORDER
STATE OF MINNESOTA
Microfilm No. 392232
Date NOV. 06 1992 2:30 PM
I hereby certify that the within instrument
was recorded in the office of Becker
County Recorder
M.M. Martinson
Dpty Co. Recorder

BECKER COUNTY RECORDER
Well Certificate Received NOV. 06 1992
M.M. Martinson
Dpty Co. Recorder
Reserved for Recording Data

FOR VALUABLE CONSIDERATION, Helen S. Laine, a widow and not remarried
(marital status), Grantor,
hereby conveys and warrants to Richard Laine and Dana Laine, Grantees, as
joint tenants, real property in Becker County, Minnesota,
described as follows:

The Southwest Quarter of the Northwest Quarter (SW 1/4 NW 1/4) and
Lot One (1) or the Northwest Quarter of the Northwest Quarter (NW
1/4 NW 1/4) of Section 10, Township 139 North of Range 38 West of
the Fifth Principal Meridian in Becker County, Minnesota.

together with all hereditaments and appurtenances belonging thereto,
subject to the following exceptions: Easements, restrictions and
reservations of record, if any.

Helen S. Laine
Helen S. Laine

RECEIPT # 6320
BECKER COUNTY
DEED TAX
AMT. PD. \$ 165.00
NOV 6 1992

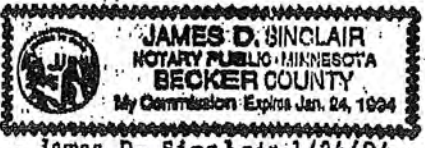
Charge
Paid
Numerical
Tract
Grantor
Grantee
Compared

Hummel

STATE OF MINNESOTA)
) ss.
COUNTY OF Becker)

The foregoing instrument was acknowledged before me this 6th day of November, 19 92, by Helen S. Laine, a widow and not remarried Grantor.

Notarial Stamp or Seal
(or other title or rank)



JAMES D. SINCLAIR
NOTARY PUBLIC - MINNESOTA
BECKER COUNTY
My Commission Expires Jan. 24, 1994
James D. Sinclair 1/24/94

James D. Sinclair
signature of person taking acknowledgment

Tax Statements for the real property described in this instrument should be sent to (Include name and address of Grantee):

THIS INSTRUMENT WAS DRAFTED BY:
(Name and Address)

HUMMEL, SINCLAIR, PEARSON,
EVANS, HUNT & HEISLER, P.A.
910 Lincoln Avenue
P.O. Box 743
Detroit Lakes, MN 56501
jds/cmo

Richard and Dana Laine
Route 1, Box 336
Osage, MN 56570



Becker County



These data are provided on an "AS-IS" basis, without warranty of any type, expressed or implied, including but not limited to any warranty as to their performance, merchantability, or fitness for any particular purpose.

1:16,901

Date: 4/17/2019

This map is not a substitute for accurate field surveys or for locating actual property lines and any adjacent features.

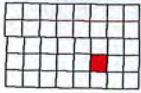
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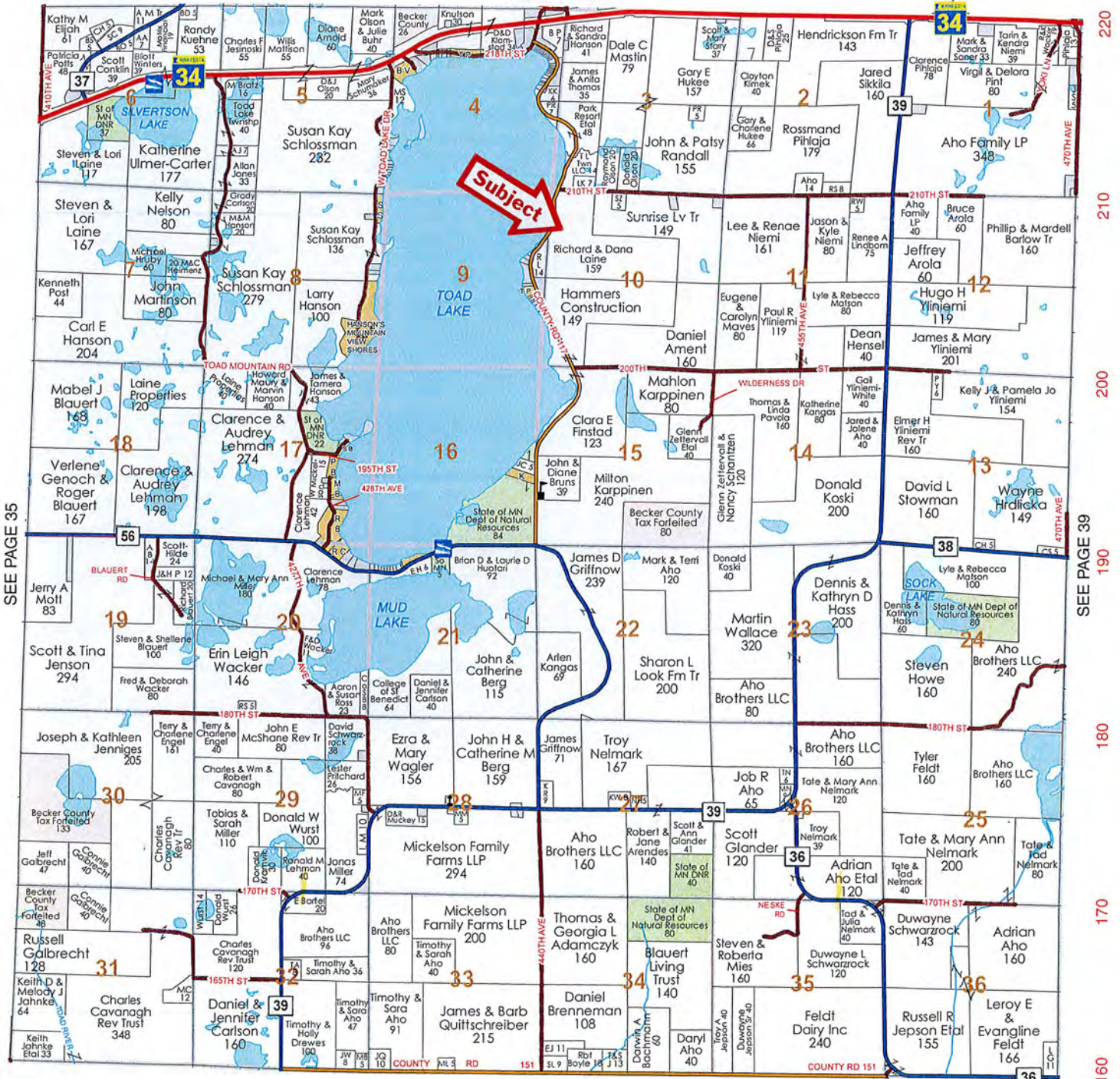


Toad Lake

Township 139N - Range 38W

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SEE PAGE 53



SEE PAGE 21