



COUNTY OF BECKER

Planning and Zoning

915 Lake Ave, Detroit Lakes, MN 56501

Phone: 218-846-7314

BOARD OF ADJUSTMENT

NOTICE OF PUBLIC HEARING

****HEARING DATE AND LOCATION****

April 10th, 2025 @ 6:00 P.M.

****Commissioner's Room – Becker County Courthouse****

APPLICANT: John E. Braun & Day R. Braun
539 Prescott Place
West Fargo, ND 58078

Project Location: 12114 Gilbertson Place
Audubon, MN 56511

APPLICATION AND DESCRIPTION OF PROJECT: Request a variance to: 1) replace an existing dwelling with a dwelling, attached garage, and entry deck to be located: five (5) feet from the road right-of-way (ROW) deviating from the required setback of twenty (20) feet from the ROW of a township road within the shoreland district, to be located fifty (50) feet from the Ordinary High-Water (OHW) mark deviating from the required setback of one hundred (100) feet on a Recreational Development Lake, and ten (10) feet from the rear property line deviating from the required setback of forty (40) feet; 2) to construct a patio and an upper deck to be located thirty-six (36) feet from the Ordinary High Water (OHW) mark deviating from the required setback of one-hundred (100) feet and to be fifteen (15) feet from the rear property line deviating from the required setback of (40) feet; 3) to be at twenty-seven and four tenths (27.4) percent impervious surface coverage deviating from the allowable twenty-five (25) percent within the shoreland district. All requests are due to lot size and setback issues.

LEGAL LAND DESCRIPTION: Tax ID Number: 17.0678.000 **Legal Land Description:** Section 19 Township 138 Range 042; Gilbertson Beach 1st, Lot 1 Big Cormorant Lake.

Replies/Comments: Public testimony regarding this application will only be received by email, in writing, or in-person at the hearing. Interested parties are invited to submit to the Becker County Department of Planning and Zoning written facts, arguments, or objectives by 12:00 P.M. the date of the Hearing. These statements should bear upon the suitability of the location and the adequacy of the Project and should suggest any appropriate changes believed to be desirable.

Replies may be addressed to:

PLANNING AND ZONING DEPARTMENT

915 Lake Avenue
Detroit Lakes, MN 56501

EMAIL: susan.rockwell@co.becker.mn.us

To view all application information on this project please visit:

https://www.co.becker.mn.us/government/meetings/planning_zoning/board_adjustments/

If you have questions about the Project, feel free to call 218-846-7314.

Jurisdiction: This Project comes under the Regulatory Jurisdiction of the Becker County Zoning Laws.

Regulatory Authority: this application will be reviewed according to the provisions of the Becker County Zoning Ordinance. The decision whether to issue a permit will be based on an evaluation of the probable impact including cumulative impacts of the proposed activity. That decision will reflect the concern for both protection and utilization of important resources. All factors which may be relevant to the proposal will be considered including the cumulative effects: Land Use, Shoreline Protection, Water Supply and Conservation, Safety, Economics, and in general, the needs and welfare of the people.

Weather conditions may change the hearing date and time. If bad weather occurs, please listen to the local Detroit Lakes Radio Stations, or contact the Zoning Office by 4:30 PM on the day of the hearing for possible rescheduling of the hearing.

Variance Application Review

Permit # 414

Property and Owner Review

Parcel Number(s): 170678000

Owner: John E Braun & Day R Braun

Township-S/T/R: LAKE EUNICE-19/138/042

Mailing Address:
539 Prescott Place West Fargo ND 58078

Site Address: 12114 Gilbertson Place Audubon MN

Lot Recording Date: Prior to 1971

Original Permit Nbr: SITE2025-3427

Legal Descr: GILBERTSON BEACH 1ST|LOT 1

Variance Details Review

Variance Request Reason(s):

- Setback Issues
- Alteration to non-conforming structure
- Lot size not in compliance
- Topographical Issues (slopes, bluffs, wetlands)
- Other

If 'Other', description:

Description of Variance Request: **Request a variance to:**

1) replace an existing dwelling with a dwelling, attached garage, and entry deck to be located: five (5) feet from the road right-of-way (ROW) deviating from the required setback of twenty (20) feet from the ROW of a township road within the shoreland district, to be located fifty (50) feet from the Ordinary High-Water (OHW) mark deviating from the required setback of one hundred (100) feet on a Recreational Development Lake, and ten (10) feet from the rear property line deviating from the required setback of forty (40) feet;

2) to construct a patio and an upper deck to be located thirty-six (36) feet from the Ordinary High Water (OHW) mark deviating from the required setback of one-hundred (100) feet and to be fifteen (15) feet from the rear property line deviating from the required setback of (40) feet;

3) to be at twenty-seven and four tenths (27.4) percent impervious surface coverage deviating from the allowable twenty-five (25) percent within the shoreland district. All requests are due to lot size and setback issues.

OHW Setback: 36'

Side Lot Line Setback:

Rear Setback (non-lake): 10'

Bluff Setback:

Road Setback:

Road Type: Township

Existing Imp. Surface Coverage: 1664 sq ft

Proposed Imp. Surface Coverage: 2815 sq ft

Existing Structure Sq Ft: 720 sq ft

Proposed Structure Sq Ft: 2447 sq ft

Existing Structure Height: 12 ft

Proposed Structure Height: 18 ft

Existing Basement Sq Ft: no

Proposed Basement Sq Ft: yes - 942 sq ft

Change to roofline? Yes

Change to main structural framework? Yes

Other Questions Review

1. Is the variance in harmony with the purposes and intent of the ordinance? Yes

Explain: The proposed structure is a year-round permanent home that does not impact the Big Cormorant

shoreline.

2. Is the Variance consistent with the Becker County Comprehensive Plan? **Yes**

Explain: **The proposed structure is reasonable in size and year-round permanent home. The attached variance includes a beach bar which is not impervious so have removed that 176' to get to 2815 sq ft for the new proposed structure.**

3. Does the proposal put the property to use in a reasonable manner? **Yes**

Explain: **Yes, this will allow for more usage of the home as it will be a year-round home.**

4. Are there circumstances unique to the property? **Yes**

Explain: **The road ends at the side of our property, so what is normally the side setback, is a rear setback, requiring the setback to be forty (40) feet instead of the normal 10'. Also, because the driveway ends right at our property line, that creates a ROW that extends into our property, plus an additional required 20' setback. That combined with the 40' rear setback, makes it really difficult to meet both ROW and rear setbacks.**

5. Will the variance maintain the essential character of the locality? **Yes**

Explain: **The new home will be at a similar setback to other homes in the area and more aesthetically pleasing than the current structure.**

Lot plan

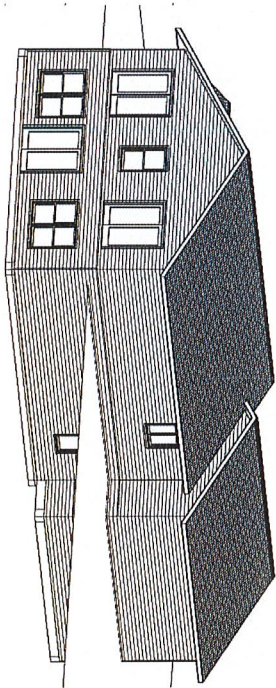
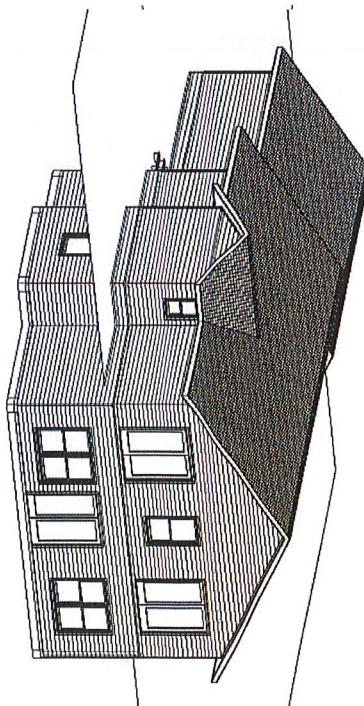
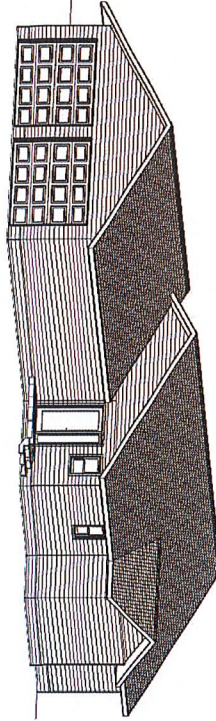
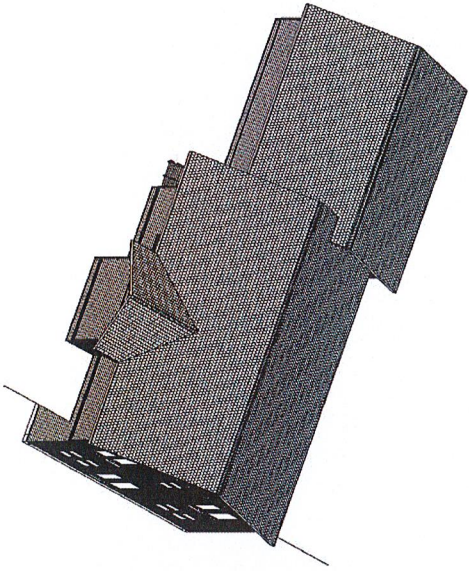


Lot size 10,890sqft
 max impervious surface @ 25% = 2,732sqft

PROPOSED
 house & garage = 1,884sqft
 driveway = 687sqft
 front entry deck (4x9) = 36sqft
 lake patio (30x14) = 420sqft
 beach bar deck (10x14) = 140sqft — *Previous*
TOTAL IMPERVIOUS = 3,167 sqft = 29% coverage
 27.4

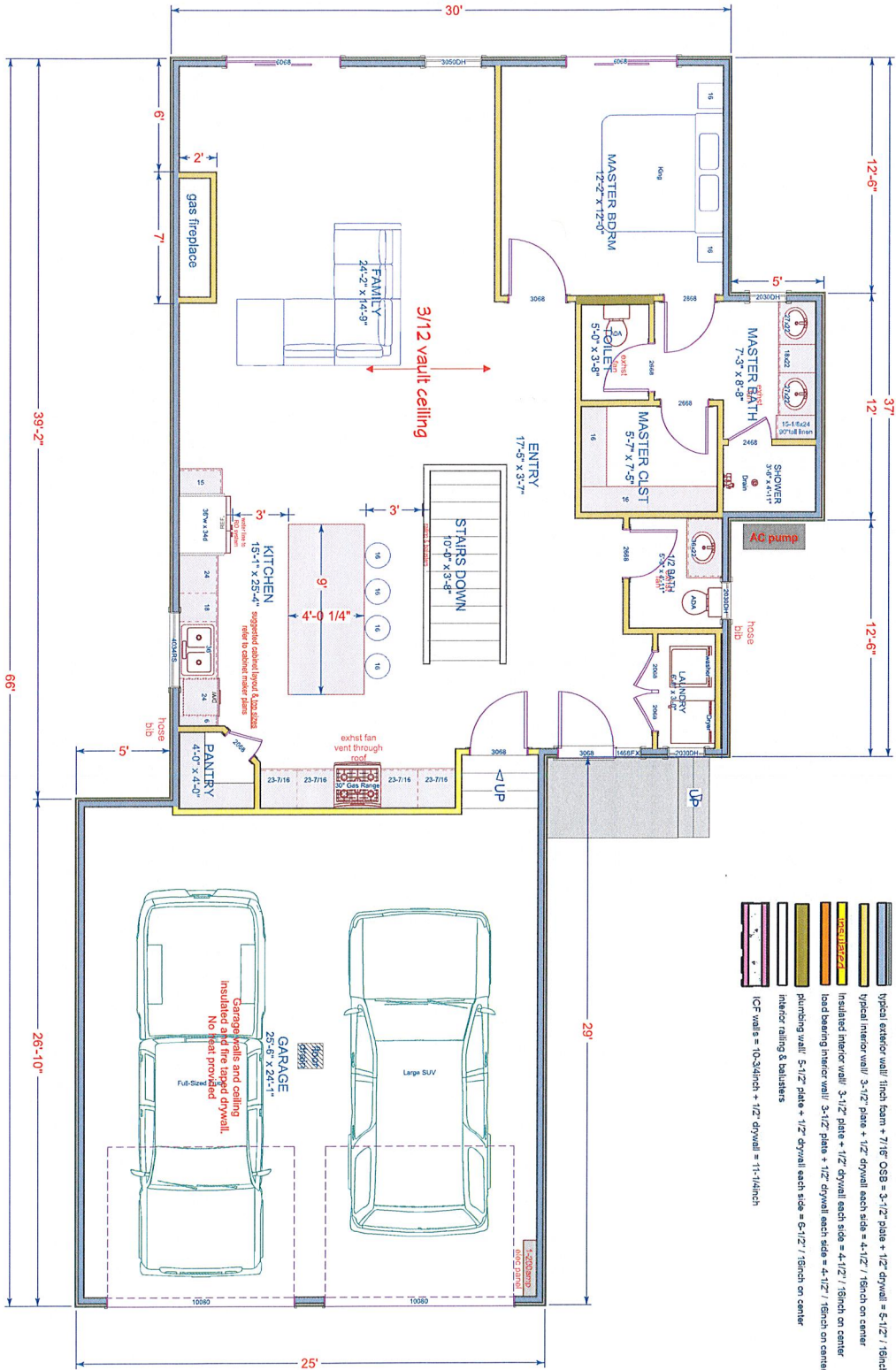
1/8inch = 1ft-0"

Braun Lake Home
 Big Cormorant Lake
 Becker County MN



Big Cormorant Lake

Main / Upper Level



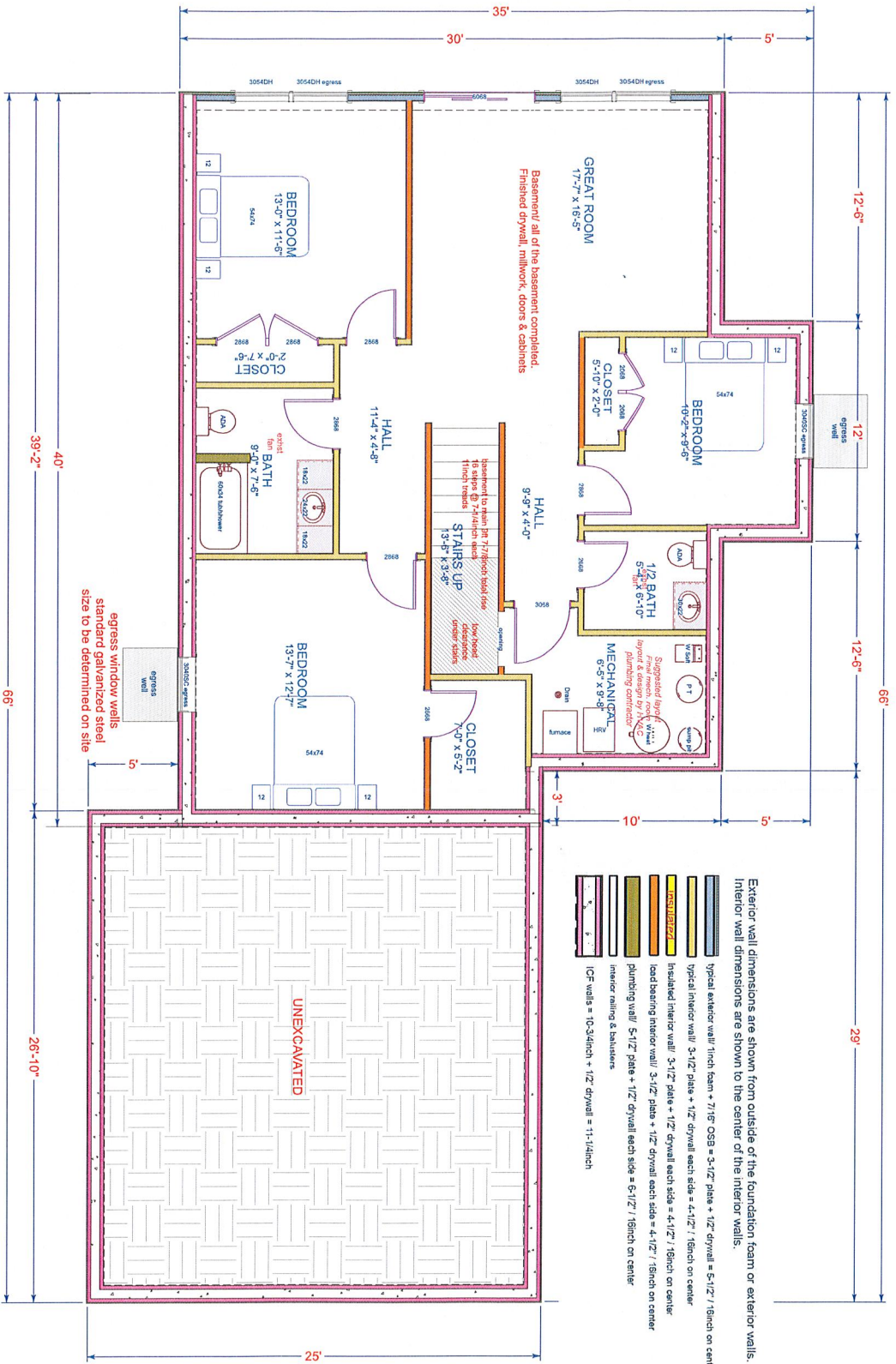
- Exterior wall dimensions are shown from outside of the foundation foam or exterior walls.
Interior wall dimensions are shown to the center of the interior walls.
- Typical exterior wall: finish beam + 7/16" OSB = 3-1/2" plate + 1/2" drywall = 5-1/2" / finish on center
 - Typical interior wall: 3-1/2" plate + 1/2" drywall each side = 4-1/2" / finish on center
 - Insulated interior wall: 3-1/2" plate + 1/2" drywall each side = 4-1/2" / finish on center
 - Load bearing interior wall: 3-1/2" plate + 1/2" drywall each side = 4-1/2" / finish on center
 - Plumbing wall: 5-1/2" plate + 1/2" drywall each side = 6-1/2" / finish on center
 - Interior ceiling & ballisters
 - CP walls = 10-3/4" + 1/2" drywall = 11-1/4"

3/8inch = 1ft-0"

<p>DATE: 2/8/2025</p> <p>SCALE: 1/4" = 1'-0"</p> <p>SHEET:</p>	<p>DRAWINGS PROVIDED BY: MLC Custom Homes Bryan Schoenberger 218-841-2006</p>	<p>Braun Lake Home 12114 Gilbertson Place Audubon MN 56511</p>	<p>ESTIMATING PLANS **DO NOT BUILD FROM THESE PLANS**</p>	
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Big Cormorant Lake

Lower / basement Level



LIVING AREA
1231 sq ft

3/8inch = 1ft-0"

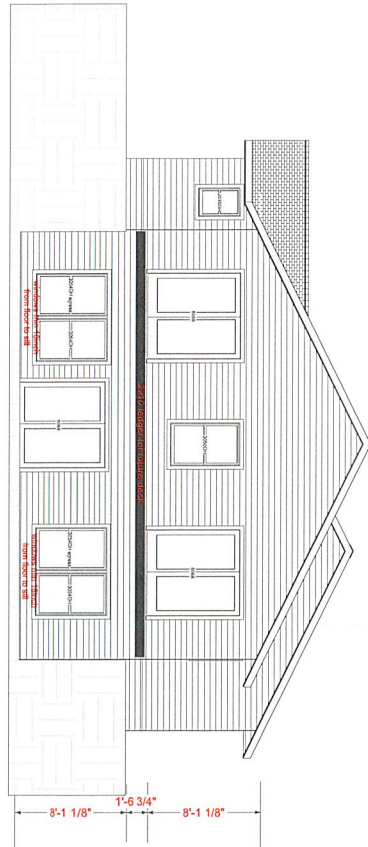
DRAWINGS PROVIDED BY: MLC Custom Homes Bryan Schoenberger 218-841-2006	DATE: 2/8/2025	SCALE: 1/4" = 1'-0"	SHEET: 1
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Braun Lake Home
12114 Gilbertson Place
Audubon MN 56511

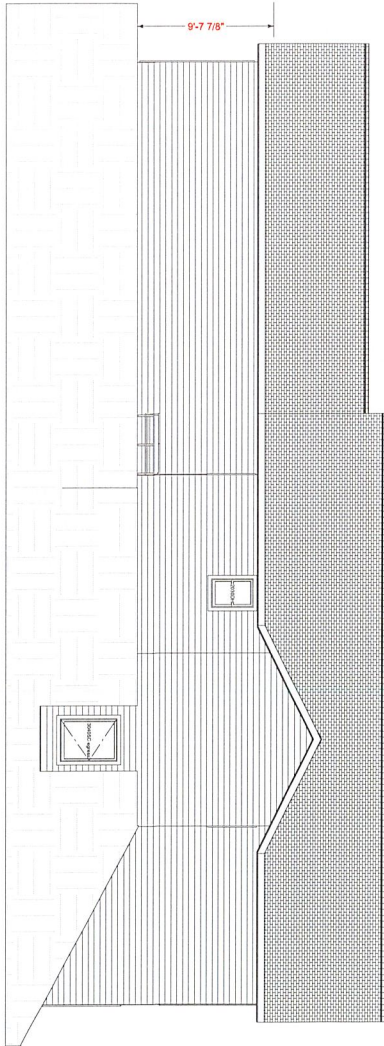
ESTIMATING PLANS
****DO NOT BUILD**
FROM THESE PLANS**



Elevations



Lake



North

1/4inch = 1ft-0"

SHEET:
SCALE: 1/4" = 1'-0"
DATE: 2/8/2025

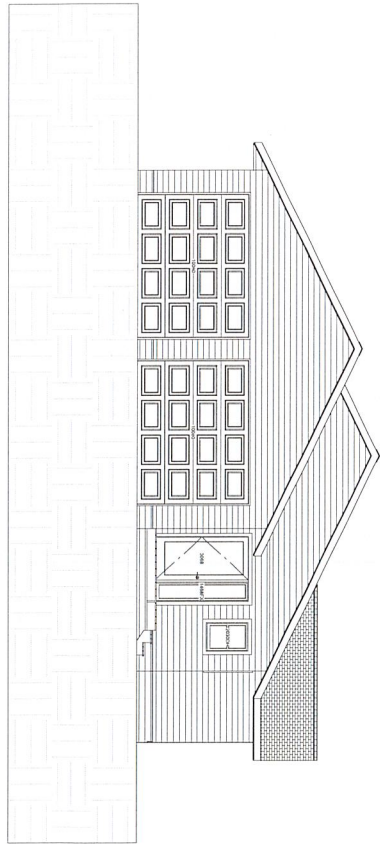
DRAWINGS PROVIDED BY:
 MLC Custom Homes
 Bryan Schoenberger
 218-841-2006

Braun Lake Home
 12114 Gilbertson Place
 Audubon MN 56511

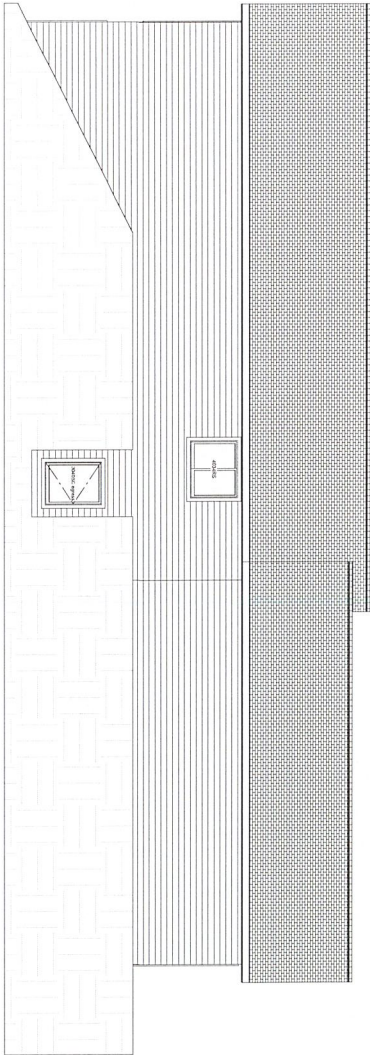
ESTIMATING PLANS
****DO NOT BUILD**
FROM THESE PLANS**



Elevations



east



South

1/4inch = 1ft-0"

SHEET:	
SCALE:	1/4" = 1'-0"
DATE:	2/8/2025

DRAWINGS PROVIDED BY:
MLC Custom Homes
Bryan Schoenberger
218-841-2006

Braun Lake Home
12114 Gilbertson Place
Audubon MN 56511

ESTIMATING PLANS
****DO NOT BUILD**
FROM THESE PLANS**

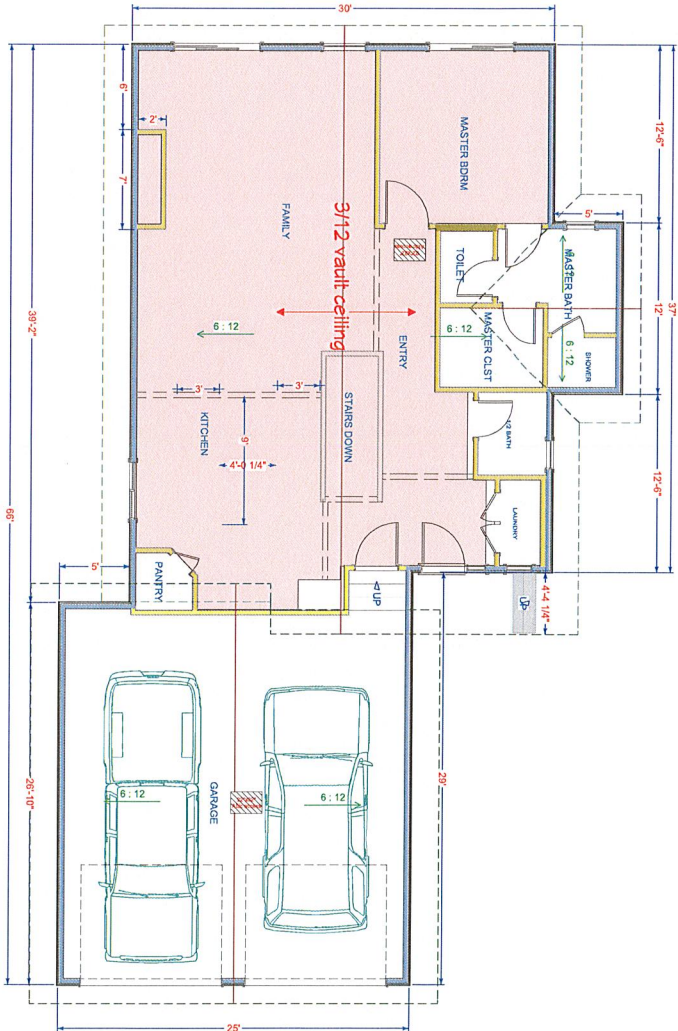
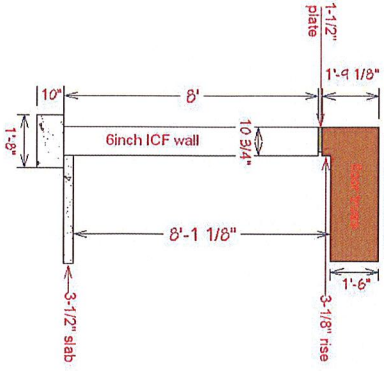


Roof plan

Roof & floor truss notes

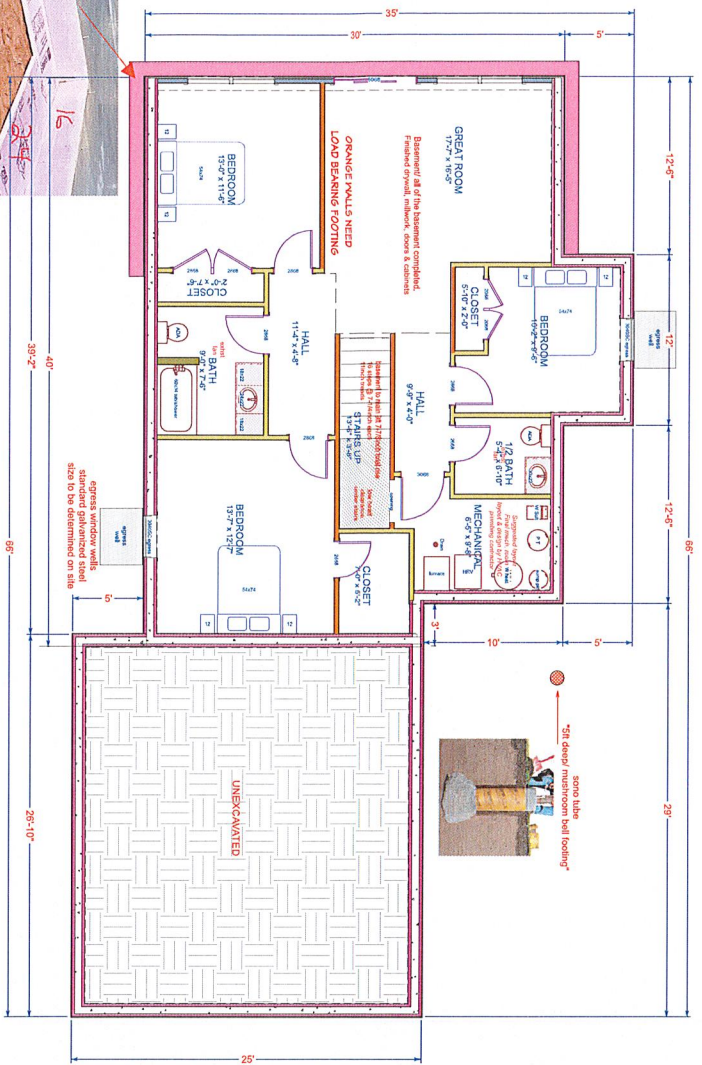
- 6/12 roof pitch
- 24inch overhangs eaves
- 16inch overhang gable ends
- Standard energy heal attic - trusses
- Standard 8ft wall height main level
- 18inch floor trusses main and lower level
- Hold truss dimensions back 1-1/2inch for wall sheathing
- Attic openings provided by truss company
- All hips to have layover truss by truss co.
- No valley sets included
- Include trusses for eyebrow roofs
- Truss co. to provide LVL & hangers needed for load bearing situations outside the wall framing.

FLOOR TRUSS DETAIL

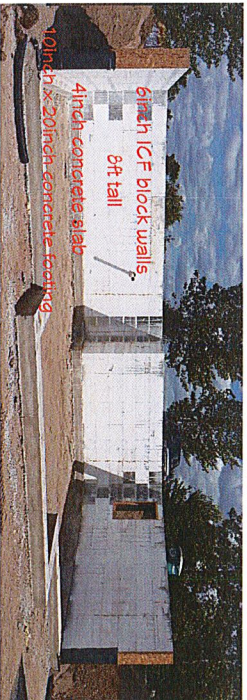
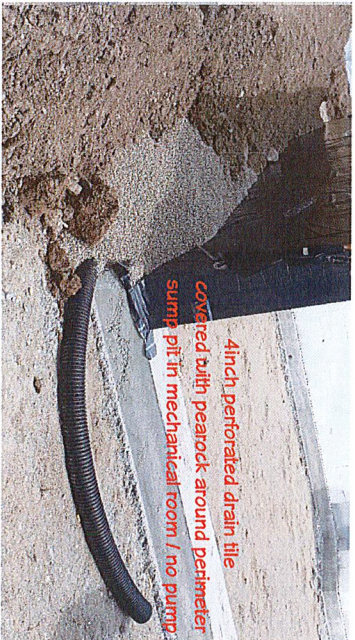
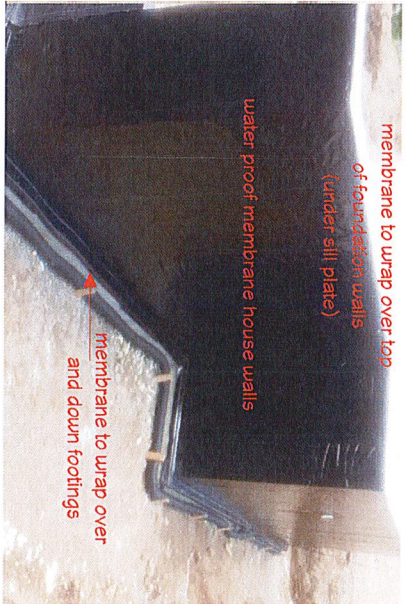
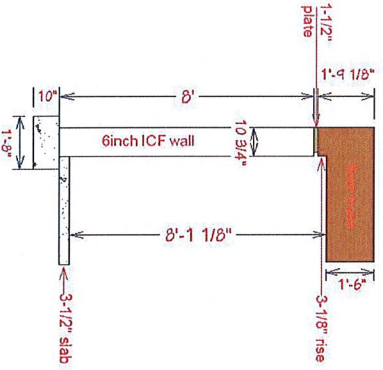
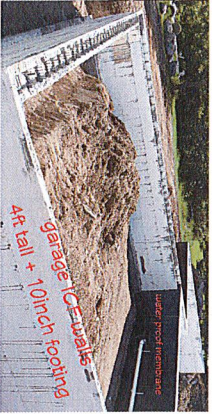


1/4inch = 1ft-0"

Basement - foundation details



R-10 / 2inch extruded foam
16inch vertical & 24inch horizontal



Specifications

- HVAC
 - Ducted furnace & AC / propane
 - Bathroom vents / to be supplied by HVAC contractor
 - Air exchange - HRV per code by HVAC contractor
 - Exhaust vent over stove to be ducted to exterior by HVAC contractor
 - Standard dryer venting to exterior by HVAC contractor
- Plumbing
 - Rough-in according to plan
 - Fixtures according to customers selections
 - water softener - iron filter to be determined by water test
 - Radon compliance
 - Mechanical floor drain 1/2inch below grade
 - water and sewer stubbed for sewer and water hookup
- Electrical
 - One 200 amp panel
 - Electric outlets and lighting per MN electrical code
 - Trenching from exterior up to 100ft to connection
 - Site work
 - Becker County permit & storm water management by owner
 - Excavation / site prep / by contractor
 - Final grade / rough black dirt / by contractor
 - Black dirt prep & grass /landscaping / by owner
 - Septic & well / by contractor
 - Electric Co. service, communications and cable-wifi connections to - stubs at house / by owner.
 - Insulation / MN energy code compliance
 - Vent chruie at energy heal of trusses
 - 4mil poly vapor barrier walls and ceiling
 - Exterior walls 2x4 R-15 fiberglass bats
 - Exterior walls to have R-6.5 one inch foil faced foam
 - Attic R-50 blown in fiberglass
 - Spray foam around all windous and doors

DATE: 2/8/2025
SCALE: 1/4" = 1'-0"
SHEET:

DRAWINGS PROVIDED BY:
MLC Custom Homes
Bryan Schoenberger
218-841-2006

Braun Lake Home
12114 Gilbertson Place
Audubon MN 56511

ESTIMATING PLANS
**DO NOT BUILD
FROM THESE PLANS**





170680000

170679000

170206003

170678000

19

170206002

WATER



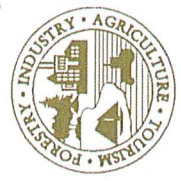
These data are provided on an "AS-IS" basis, without warranty of any type, expressed or implied, including but not limited to any warranty as to their performance, merchantability, or fitness for any particular purpose.

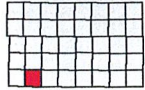
1:528

This map is not a substitute for accurate field surveys or for locating actual property lines and any adjacent features.

Date: 2/26/2025

Becker County



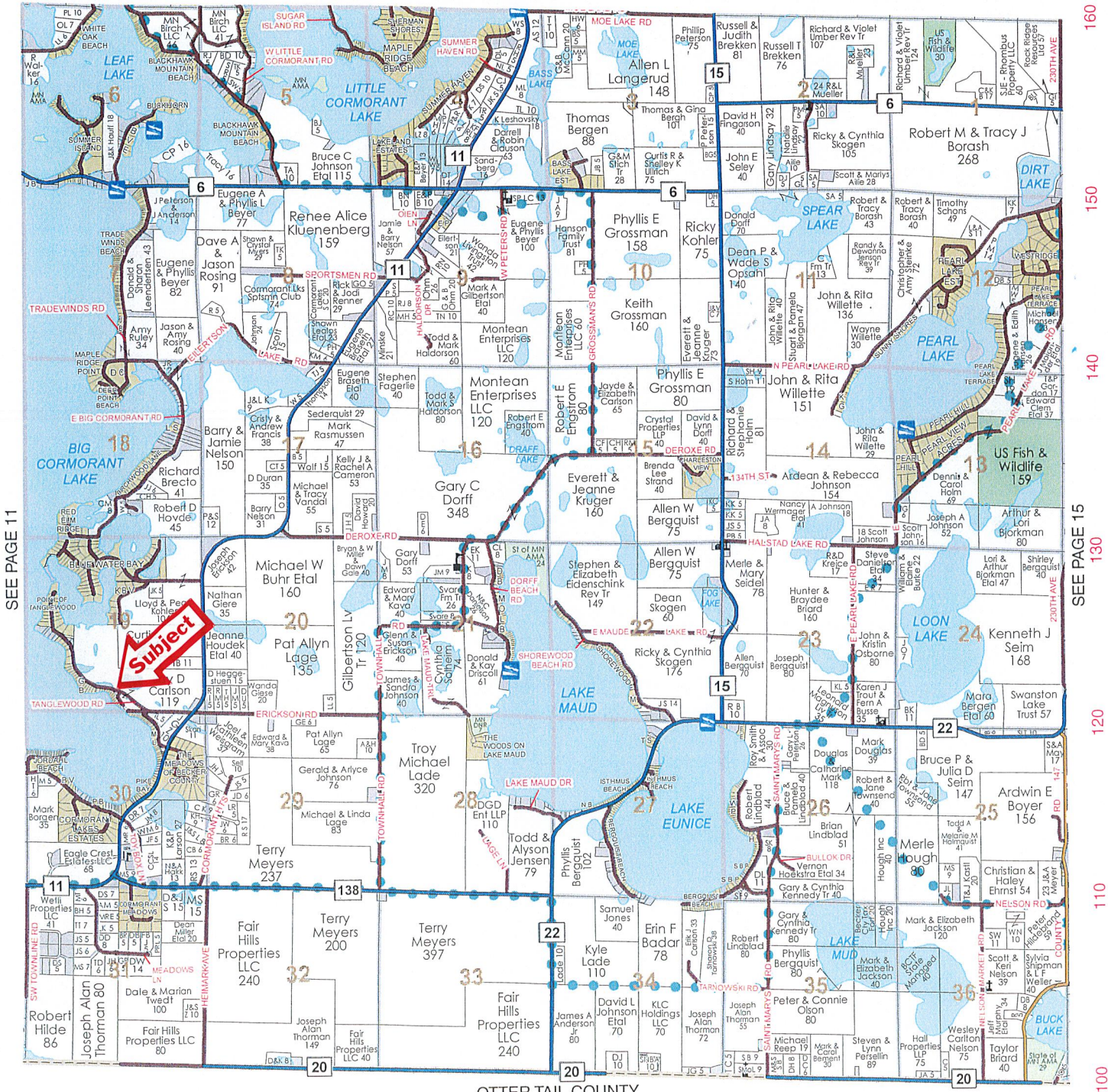


Lake Eunice

Township 138N - Range 42W

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SEE PAGE 29



SEE PAGE 11

160
150
140
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120
110
100

OTTER TAIL COUNTY

170 180 190 200 210 220 230 13



COUNTY OF BECKER

Planning and Zoning

915 Lake Ave, Detroit Lakes, MN 56501

Phone: 218-846-7314

BOARD OF ADJUSTMENT NOTICE OF PUBLIC HEARING

****HEARING DATE AND LOCATION****

April 10th, 2025 @ 6:00 P.M.

****Commissioner's Room – Becker County Courthouse****

APPLICANT: Bryan L & Anna M Vidden
6526 59th Ave S
Fargo, ND 58104

Project Location: 37566 Tulaby Lake Dr
Waubun, MN 56589

APPLICATION AND DESCRIPTION OF PROJECT: Request a variance to: 1) construct two (2) additions to the existing non-conforming dwelling, with one addition to be located nine (9) feet from the side property line deviating from the required setback of ten (10) feet and for both additions to be located fifty (50) feet from the ordinary high-water (OHW) mark deviating from the required setback of one-hundred (100) feet on a recreational development lake
2) construct a deck to be located forty-two (42) feet from the OHW
3) construct an attached garage to be located nine (9) feet from the side property line and to be ten feet from the road right-of-way deviating from the required setback of twenty (20) feet from the right of way of a township road within the shore land district. All requests due to lot size and setback issues.

LEGAL LAND DESCRIPTION: Tax ID Number: 09.0565.000 **Legal Land Description:** Section 03 Township 142 Range 039: Peaceful Bay 142 39 Lot 7, Tulaby Lake.

Replies/Comments: Public testimony regarding this application will only be received by email, in writing, or in-person at the hearing. Interested parties are invited to submit to the Becker County Department of Planning and Zoning written facts, arguments, or objectives by 12:00 P.M. the date of the Hearing. These statements should bear upon the suitability of the location and the adequacy of the Project and should suggest any appropriate changes believed to be desirable.

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EMAIL: susan.rockwell@co.becker.mn.us

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Variance Application Review

Permit # 417

Property and Owner Review

Parcel Number(s): 090565000

Owner: BRYAN & ANNA VIDDEN

Township-S/T/R: EAGLE VIEW-03/142/039

Mailing Address:
6526 59th Ave S Fargo, ND 58104

Site Address: 37566 Tulaby LAke Dr Waubun, MN

Lot Recording Date: Prior to 1971

Original Permit Nbr: SITE2025-3439

Legal Descr: PEACEFUL BAY 142 39|LOT 7

Variance Details Review

Variance Request Reason(s):

- Setback Issues
- Alteration to non-conforming structure
- Lot size not in compliance
- Topographical Issues (slopes, bluffs, wetlands)
- Other

If 'Other', description:

Description of Variance Request: **Request a variance to:**

1) construct two (2) additions to the existing non-conforming dwelling, with one addition to be located nine (9) feet from the side property line deviating from the required setback of ten (10) feet and for both additions to be located fifty (50) feet from the ordinary high-water (OHW) mark deviating from the required setback of one-hundred (100) feet on a recreational development lake.

2) construct a deck to be located forty-two (42) feet from the OHW.

3) construct an attached garage to be located nine (9) feet from the side property line and to be ten feet from the road right-of-way deviating from the required setback of twenty (20) feet from the right of way of a township road within the shore land district.

All request due to lot size and setback issues.

OHW Setback: 42 feet	Side Lot Line Setback: 9 ft
Rear Setback (non-lake):	Bluff Setback:
Road Setback: 10 ft	Road Type: Township
Existing Imp. Surface Coverage: Cabin: 32' x 40' = 1,080 sq ft + Detached Garage 22' x 24' = 528 sq ft + Driveway 18' x 18' = 324 sq ft. Total = 1,932 sq ft	Proposed Imp. Surface Coverage: Cabin: 32' x 69' = 2,208 sq ft + Attached Garage: 26'6" x 36' 954 sq ft + Driveway: 18' x 42' = 756 sq ft. Total = 3,918 sq ft
Existing Structure Sq Ft: 1,080 sq ft	Proposed Structure Sq Ft: 2,208 sq ft total
Existing Structure Height: N / A	Proposed Structure Height: N / A
Existing Basement Sq Ft: Crawl Space 32' x 34'	Proposed Basement Sq Ft:
Change to roofline? Yes	Change to main structural framework? Yes

Other Questions Review

1. Is the variance in harmony with the purposes and intent of the ordinance? **Yes**

Explain: **Because the overall proposed square footage with the lake front buffer and road easement area is = 24.3%. Under 25%.**

Also the existing garage is at 9' on the west side of the lot. The proposed distance 9' is the same.

2. Is the Variance consistent with the Becker County Comprehensive Plan? **Yes**

Explain: **The is still plenty of green space, i.e. 75% of total area. Also the proposed layout does not adversely affect our neighbors properties.**

Also other cabin owners on the lake have had variances similar to this approved in the past, i.e. previous precedence has been set.

Examples: 37635 Tulaby Lake Drive: garage setback from road variance, 37748 Tulaby Lake Drive: deck variance, 37790 Tulaby Drive: garage setback from road variance& 37838 Tulaby Lake Drive: cabin and garage variance from road. Also others can be provided if desired.

3. Does the proposal put the property to use in a reasonable manner? **Yes**

Explain: **Standard functional garage and cabin layout, that would be a good fit for the area and with the other cabins.**

Not to large or obtrusive.

4. Are there circumstances unique to the property? **Yes**

Explain: **Additional trees and shrubs buffer along the road easement that are appealing so that the garage and cabin are not right up against the road.**

5. Will the variance maintain the essential character of the locality? **Yes**

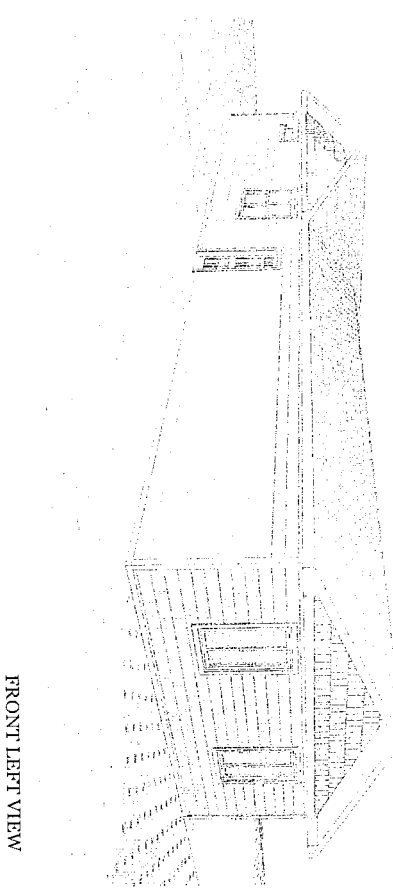
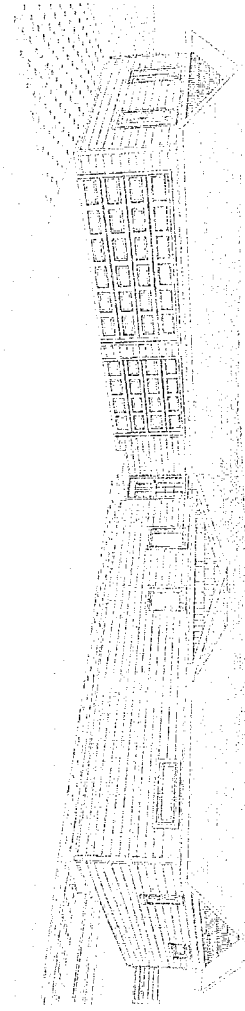
Explain: **This change would better serve our family but yet fit in nicely with other cabins in the area.**

Would be a nice update supplementing the existing cabin, providing needed improvements.

REAR LEFT VIEW

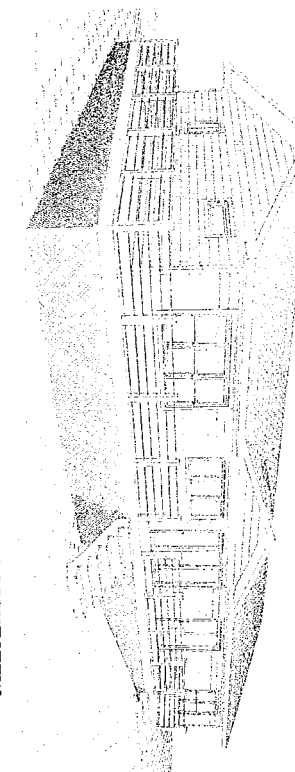


FRONT RIGHT VIEW



FRONT LEFT VIEW

REAR RIGHT VIEW



SQUARE FOOTAGE DISCLAIMER: Approximately, disclaimer and liability with respect to the square footage based on any floor plans or renderings shown. Buyer or Contractor is responsible for verifying the square footage of the project prior to purchase or construction.



CONTRACTOR
RAYMOND HOMES

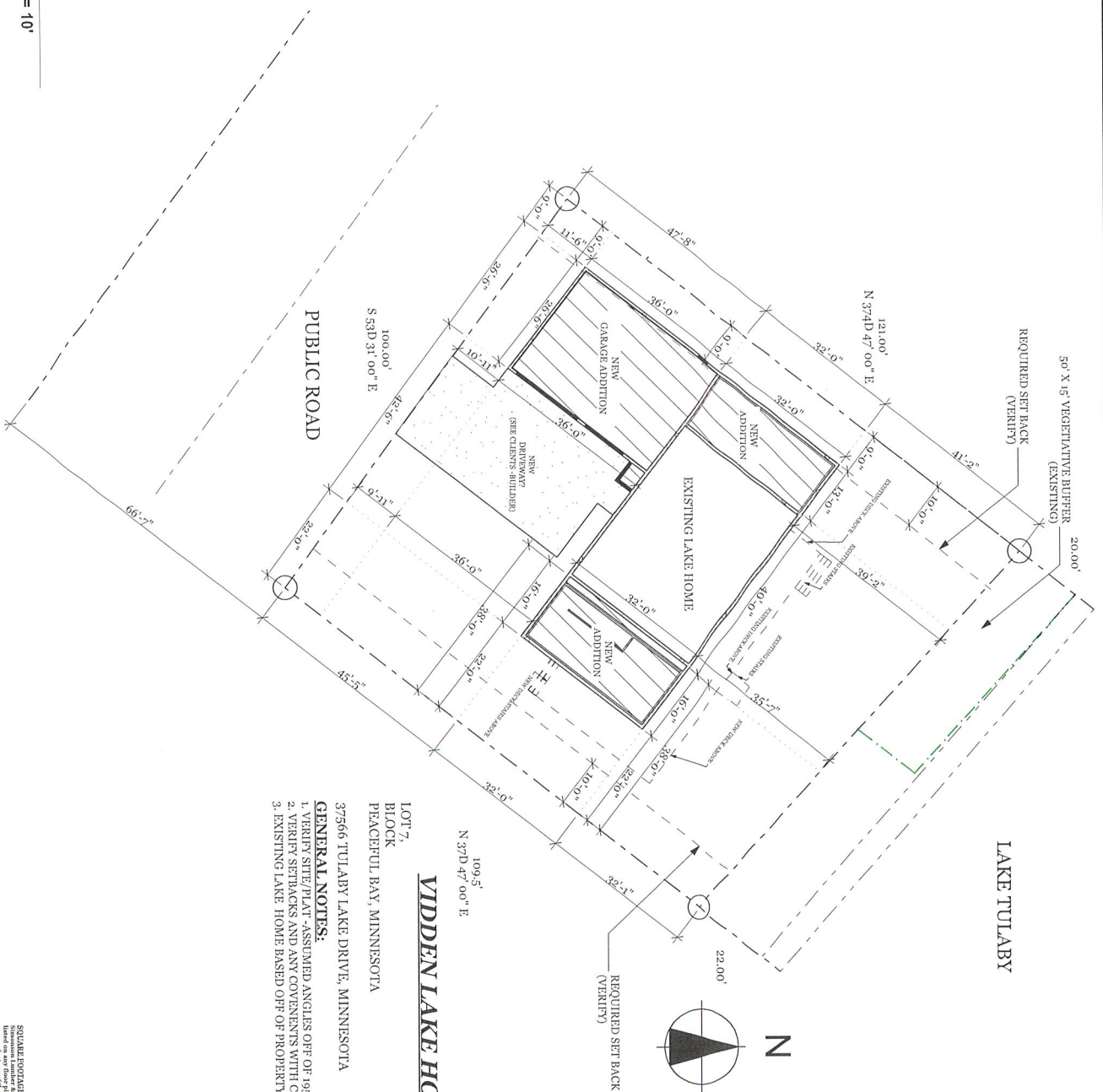
IF THIS DATE IS MORE THAN THREE (3) MONTHS FROM THE DATE OF THE ORIGINAL CONTRACT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE SQUARE FOOTAGE OF THE PROJECT PRIOR TO PURCHASE OR CONSTRUCTION.
2/10/2025
CHECKED BY: JCHH-BR

Disclaimer of Warranties
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Copyright
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Vidden, Bryan & Anna
(Lake remodel/additions)
COVER SHEET

Project Description:	Drawn by: JCHH-BR	Checked by: T.L.S.	A1
	Date Issued: 2/10/2025	Revised Date: 2/10/2025	
	Scale: REFER TO PLAN	Simonson Lumber & Hardware, Inc. is not responsible for any changes after the date shown.	

1 SITE PLAN
SCALE: 1" = 10'



LOT 7,
BLOCK
PEACEFUL BAY, MINNESOTA
37566 TULLABY LAKE DRIVE, MINNESOTA

GENERAL NOTES:
1. VERIFY SITE/PLAT - ASSUMED ANGLES OFF OF 1956 PLAT
2. VERIFY SETBACKS AND ANY COVENANTS WITH CONTRACTOR & CLIENTS
3. EXISTING LAKE HOME BASED OFF OF PROPERTY LINES & DIMS. FROM CLIENTS

SQUARE FOOTAGE DISCLAIMER:
Based on an aerial photo or rendering shown, survey or construction is responsible for verifying the square footage of the plans prior to printing or construction.

CONTRACTOR

RAYMOND HOMES

IF THIS DATE IS MORE THAN NINE (9) MONTHS FROM THE DATE OF THE MOST RECENT SET OF DOCUMENTS.

THIS PLAN IS THE MOST CURRENT PLAN AS OF THIS DATE.

2/10/2025

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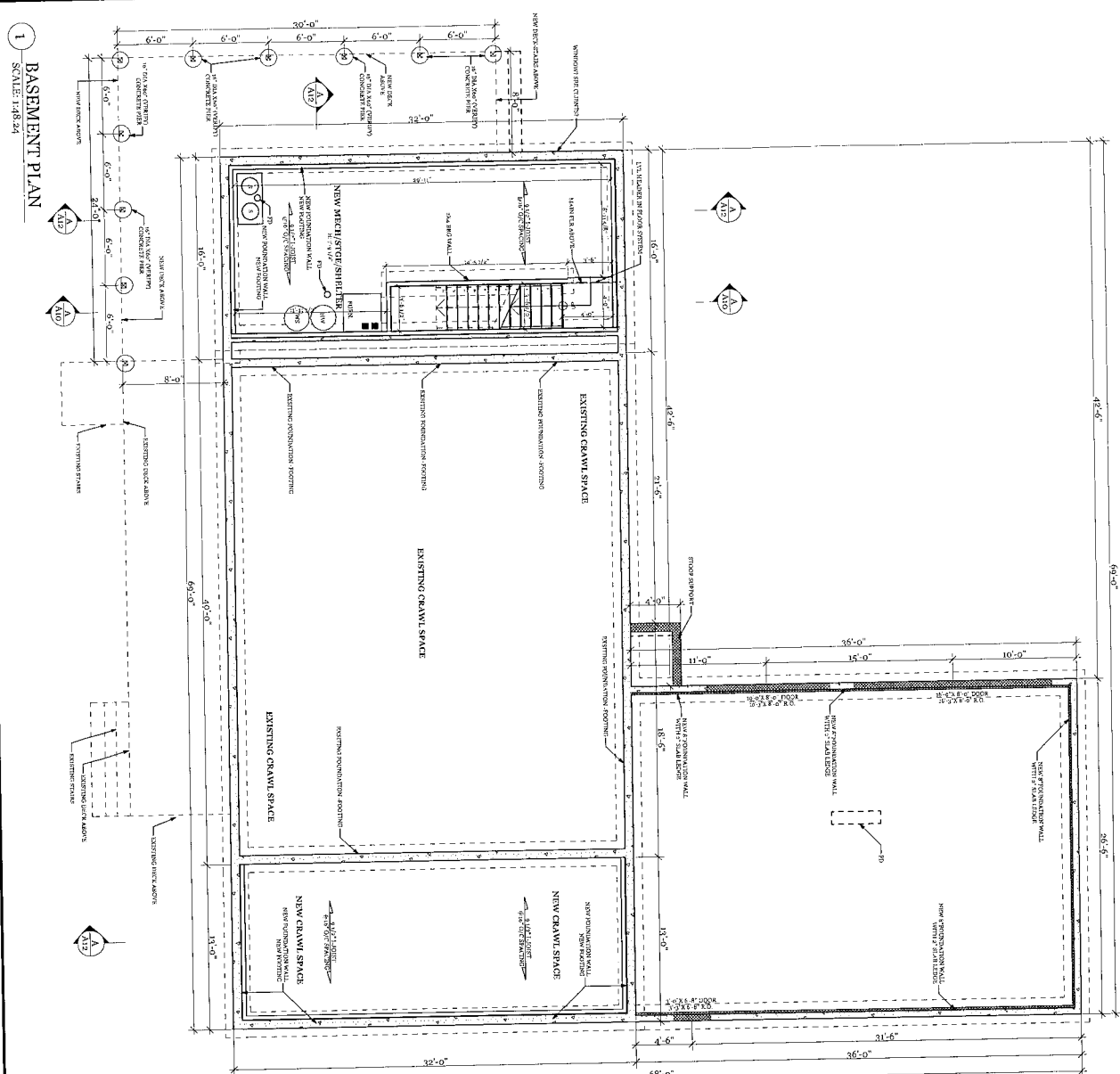
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Vidden, Bryan & Anna
(Lake remodel/additions)

SITE PLAN

Project Description:

Drawn by: JCHH-BR	Checked by: T.L.S.	A2
Date Issued: 2/10/2025	Revised Date: 2/10/2025	
Scale: REFERT TO PLAN	Simonson Lumber & Hardware, Inc. is not responsible for any changes after the date above.	



1
SCALE: 1/8" = 1'-0"

GENERAL NOTES - SEE THE GENERAL NOTES

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL RESIDENTIAL CODE BOOK (IRC) AND THE INTERNATIONAL FOUNDATION CODE BOOK (IFC).
2. ALL FOUNDATION WORK SHALL BE PERFORMED BY A LICENSED CONTRACTOR AND SHALL BE SUBJECT TO INSPECTION BY THE LOCAL BUILDING DEPARTMENT.
3. ALL EXISTING FOUNDATION WORK SHALL BE REPAIRED OR REPLACED AS NECESSARY TO BRING IT UP TO THE LATEST EDITIONS OF THE IRC AND IFC.
4. ALL NEW FOUNDATION WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE IRC AND IFC.
5. ALL FOUNDATION WORK SHALL BE PROTECTED BY A MINIMUM OF 2" OF GRANULAR FILL AND A MINIMUM OF 4" OF CONCRETE SLAB ON GRADE.
6. ALL FOUNDATION WORK SHALL BE PROTECTED BY A MINIMUM OF 2" OF GRANULAR FILL AND A MINIMUM OF 4" OF CONCRETE SLAB ON GRADE.
7. ALL FOUNDATION WORK SHALL BE PROTECTED BY A MINIMUM OF 2" OF GRANULAR FILL AND A MINIMUM OF 4" OF CONCRETE SLAB ON GRADE.
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10. ALL FOUNDATION WORK SHALL BE PROTECTED BY A MINIMUM OF 2" OF GRANULAR FILL AND A MINIMUM OF 4" OF CONCRETE SLAB ON GRADE.

GENERAL NOTES - SEE THE GENERAL NOTES

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL RESIDENTIAL CODE BOOK (IRC) AND THE INTERNATIONAL FOUNDATION CODE BOOK (IFC).
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10. ALL FOUNDATION WORK SHALL BE PROTECTED BY A MINIMUM OF 2" OF GRANULAR FILL AND A MINIMUM OF 4" OF CONCRETE SLAB ON GRADE.

PROJECT SQUARE FOOTAGE - ANSI Z765-2009 GUIDELINES

NEW RESIDENT	4,693
NEW CRAWL SPACE	865.38
SQUARE FOOTAGE TOTAL	5,558.38

Disclaimer of Warranties

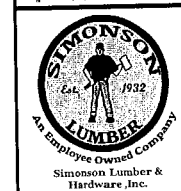
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Vidden, Bryan & Anna
(Lake remodel/additions)
BASEMENT FLOOR PLAN

Project Description:	Drawn by: JCIII-BR	Checked by: T.L.S.	A2
Date Issued: 2/10/2025	Revised Date: 2/10/2025		
Scale: REFER TO PLAN	Simonson Lumber & Hardware, Inc. is not responsible for any changes after the date above.		



CONTRACTOR

RAYMOND HOMES

IF THIS DATE IS MORE THAN 1 WEEK OLD PLEASE PRINT WITH THE ENGINEER AT THE PRESENT SET OF DOCUMENTS.

2/10/2025

CONTRACTOR'S SIGNATURE

DATE OF THIS DATE

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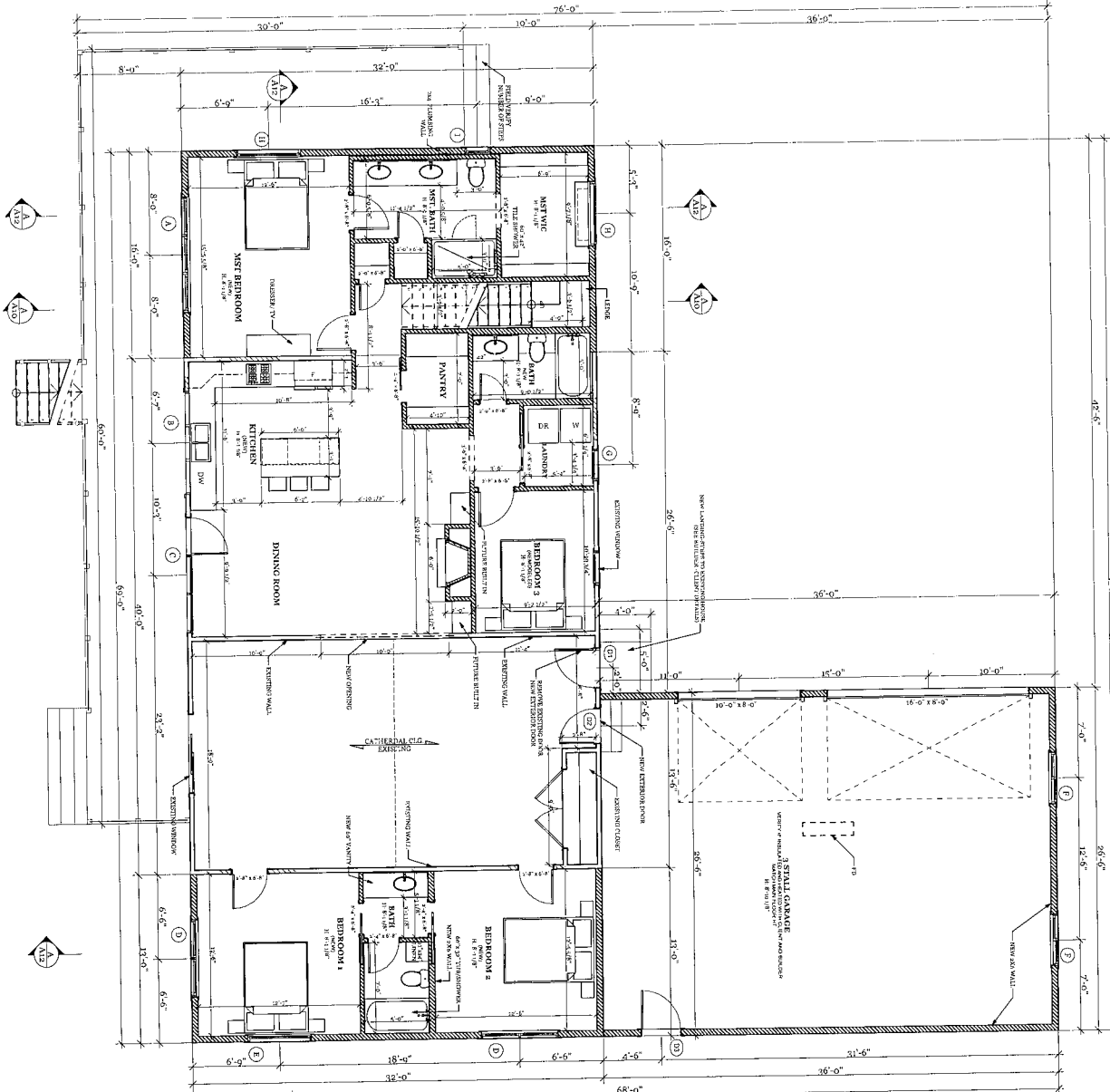
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Vidden, Bryan & Anna
(Lake remodel/additions)
BASEMENT FLOOR PLAN

Project Description:	Drawn by: JCIII-BR	Checked by: T.L.S.	A2
Date Issued: 2/10/2025	Revised Date: 2/10/2025		
Scale: REFER TO PLAN	Simonson Lumber & Hardware, Inc. is not responsible for any changes after the date above.		

1 MAIN FLOOR PLAN
SCALE: 1/4" = 1'-0"



GENERAL NOTES:

1. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
2. ALL WINDOWS TO HAVE GLASS PERMANENTLY SET IN THE FRAME.
3. ALL WINDOWS TO HAVE GLASS PERMANENTLY SET IN THE FRAME.
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11. ALL WINDOWS TO HAVE GLASS PERMANENTLY SET IN THE FRAME.
12. ALL WINDOWS TO HAVE GLASS PERMANENTLY SET IN THE FRAME.
13. ALL WINDOWS TO HAVE GLASS PERMANENTLY SET IN THE FRAME.
14. ALL WINDOWS TO HAVE GLASS PERMANENTLY SET IN THE FRAME.

GRILLIN - MAIN FLOOR WINDOW SCHEDULE:

QTY	ID	Model	Location	Round Opening	Fixed It.
1	A	6082 - SLIDER - 3'W	BRN BEDROOM	3'-0" x 6'-0"	6'-0" x 6'-0"
1	B	6082 - SLIDER - 3'W	BRN BEDROOM	3'-0" x 6'-0"	6'-0" x 6'-0"
1	C	6082 - SLIDER - 3'W	BRN BEDROOM	3'-0" x 6'-0"	6'-0" x 6'-0"
1	D	6082 - SLIDER - 3'W	BRN BEDROOM	3'-0" x 6'-0"	6'-0" x 6'-0"
1	E	6082 - SLIDER - 3'W	BRN BEDROOM	3'-0" x 6'-0"	6'-0" x 6'-0"
1	F	6082 - SLIDER - 3'W	BRN BEDROOM	3'-0" x 6'-0"	6'-0" x 6'-0"
1	G	6082 - SLIDER - 3'W	BRN BEDROOM	3'-0" x 6'-0"	6'-0" x 6'-0"
1	H	6082 - SLIDER - 3'W	BRN BEDROOM	3'-0" x 6'-0"	6'-0" x 6'-0"
1	I	6082 - SLIDER - 3'W	BRN BEDROOM	3'-0" x 6'-0"	6'-0" x 6'-0"
1	J	6082 - SLIDER - 3'W	BRN BEDROOM	3'-0" x 6'-0"	6'-0" x 6'-0"
1	K	6082 - SLIDER - 3'W	BRN BEDROOM	3'-0" x 6'-0"	6'-0" x 6'-0"
1	L	6082 - SLIDER - 3'W	BRN BEDROOM	3'-0" x 6'-0"	6'-0" x 6'-0"
1	M	6082 - SLIDER - 3'W	BRN BEDROOM	3'-0" x 6'-0"	6'-0" x 6'-0"
1	N	6082 - SLIDER - 3'W	BRN BEDROOM	3'-0" x 6'-0"	6'-0" x 6'-0"
1	O	6082 - SLIDER - 3'W	BRN BEDROOM	3'-0" x 6'-0"	6'-0" x 6'-0"
1	P	6082 - SLIDER - 3'W	BRN BEDROOM	3'-0" x 6'-0"	6'-0" x 6'-0"
1	Q	6082 - SLIDER - 3'W	BRN BEDROOM	3'-0" x 6'-0"	6'-0" x 6'-0"
1	R	6082 - SLIDER - 3'W	BRN BEDROOM	3'-0" x 6'-0"	6'-0" x 6'-0"
1	S	6082 - SLIDER - 3'W	BRN BEDROOM	3'-0" x 6'-0"	6'-0" x 6'-0"
1	T	6082 - SLIDER - 3'W	BRN BEDROOM	3'-0" x 6'-0"	6'-0" x 6'-0"
1	U	6082 - SLIDER - 3'W	BRN BEDROOM	3'-0" x 6'-0"	6'-0" x 6'-0"
1	V	6082 - SLIDER - 3'W	BRN BEDROOM	3'-0" x 6'-0"	6'-0" x 6'-0"
1	W	6082 - SLIDER - 3'W	BRN BEDROOM	3'-0" x 6'-0"	6'-0" x 6'-0"
1	X	6082 - SLIDER - 3'W	BRN BEDROOM	3'-0" x 6'-0"	6'-0" x 6'-0"
1	Y	6082 - SLIDER - 3'W	BRN BEDROOM	3'-0" x 6'-0"	6'-0" x 6'-0"
1	Z	6082 - SLIDER - 3'W	BRN BEDROOM	3'-0" x 6'-0"	6'-0" x 6'-0"

INTERIOR DOOR SCHEDULE - MAIN FLOOR:

QTY	ID	TYPE	SIZE	JAMB
1	1	6082 - SLIDER - 3'W	3'-0" x 6'-0"	6'-0" x 6'-0"
1	2	6082 - SLIDER - 3'W	3'-0" x 6'-0"	6'-0" x 6'-0"
1	3	6082 - SLIDER - 3'W	3'-0" x 6'-0"	6'-0" x 6'-0"
1	4	6082 - SLIDER - 3'W	3'-0" x 6'-0"	6'-0" x 6'-0"
1	5	6082 - SLIDER - 3'W	3'-0" x 6'-0"	6'-0" x 6'-0"
1	6	6082 - SLIDER - 3'W	3'-0" x 6'-0"	6'-0" x 6'-0"
1	7	6082 - SLIDER - 3'W	3'-0" x 6'-0"	6'-0" x 6'-0"
1	8	6082 - SLIDER - 3'W	3'-0" x 6'-0"	6'-0" x 6'-0"
1	9	6082 - SLIDER - 3'W	3'-0" x 6'-0"	6'-0" x 6'-0"
1	10	6082 - SLIDER - 3'W	3'-0" x 6'-0"	6'-0" x 6'-0"
1	11	6082 - SLIDER - 3'W	3'-0" x 6'-0"	6'-0" x 6'-0"
1	12	6082 - SLIDER - 3'W	3'-0" x 6'-0"	6'-0" x 6'-0"
1	13	6082 - SLIDER - 3'W	3'-0" x 6'-0"	6'-0" x 6'-0"
1	14	6082 - SLIDER - 3'W	3'-0" x 6'-0"	6'-0" x 6'-0"

PROJECT SQUARE FOOTAGE - ANSII Z796-2003 GUIDELINES

SQUARE FOOTAGE INCLUDES:

- 1. ALL INTERIOR SURFACES.
- 2. ALL EXTERIOR SURFACES.
- 3. ALL EXTERIOR WALLS.
- 4. ALL EXTERIOR ROOFS.
- 5. ALL EXTERIOR PORCHES.
- 6. ALL EXTERIOR PATIOS.
- 7. ALL EXTERIOR DECKS.
- 8. ALL EXTERIOR STAIRS.
- 9. ALL EXTERIOR RAMPWAYS.
- 10. ALL EXTERIOR DRIVEWAYS.
- 11. ALL EXTERIOR WALKWAYS.
- 12. ALL EXTERIOR BIENNEZ.
- 13. ALL EXTERIOR FENCES.
- 14. ALL EXTERIOR GATES.
- 15. ALL EXTERIOR LIGHT FIXTURES.
- 16. ALL EXTERIOR SIGNAGE.
- 17. ALL EXTERIOR LANDSCAPING.
- 18. ALL EXTERIOR UTILITY STRUCTURES.
- 19. ALL EXTERIOR STORAGE STRUCTURES.
- 20. ALL EXTERIOR GARAGES.
- 21. ALL EXTERIOR CARPORTS.
- 22. ALL EXTERIOR DRIVEWAYS.
- 23. ALL EXTERIOR PATIOS.
- 24. ALL EXTERIOR DECKS.
- 25. ALL EXTERIOR STAIRS.
- 26. ALL EXTERIOR RAMPWAYS.
- 27. ALL EXTERIOR WALKWAYS.
- 28. ALL EXTERIOR BIENNEZ.
- 29. ALL EXTERIOR FENCES.
- 30. ALL EXTERIOR GATES.
- 31. ALL EXTERIOR LIGHT FIXTURES.
- 32. ALL EXTERIOR SIGNAGE.
- 33. ALL EXTERIOR LANDSCAPING.
- 34. ALL EXTERIOR UTILITY STRUCTURES.
- 35. ALL EXTERIOR STORAGE STRUCTURES.
- 36. ALL EXTERIOR GARAGES.
- 37. ALL EXTERIOR CARPORTS.
- 38. ALL EXTERIOR DRIVEWAYS.
- 39. ALL EXTERIOR PATIOS.
- 40. ALL EXTERIOR DECKS.
- 41. ALL EXTERIOR STAIRS.
- 42. ALL EXTERIOR RAMPWAYS.
- 43. ALL EXTERIOR WALKWAYS.
- 44. ALL EXTERIOR BIENNEZ.
- 45. ALL EXTERIOR FENCES.
- 46. ALL EXTERIOR GATES.
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- 53. ALL EXTERIOR CARPORTS.
- 54. ALL EXTERIOR DRIVEWAYS.
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- 56. ALL EXTERIOR DECKS.
- 57. ALL EXTERIOR STAIRS.
- 58. ALL EXTERIOR RAMPWAYS.
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- 82. ALL EXTERIOR UTILITY STRUCTURES.
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- 84. ALL EXTERIOR GARAGES.
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- 91. ALL EXTERIOR WALKWAYS.
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- 93. ALL EXTERIOR FENCES.
- 94. ALL EXTERIOR GATES.
- 95. ALL EXTERIOR LIGHT FIXTURES.
- 96. ALL EXTERIOR SIGNAGE.
- 97. ALL EXTERIOR LANDSCAPING.
- 98. ALL EXTERIOR UTILITY STRUCTURES.
- 99. ALL EXTERIOR STORAGE STRUCTURES.
- 100. ALL EXTERIOR GARAGES.



CONTRACTOR

RAYMOND HOMES

THIRD PLAN ON THE SUBJECT
CREATED FOR THE PROJECT

2/10/2025

IF THIS DATE IS MORE THAN THREE (3) YEARS OLD PLEASE CLARIFY WITH THE ENGINEER AT SIMONSON LUMBER & HARDWARE, INC. BEFORE PROCEEDING WITH CONSTRUCTION.

Simonson Lumber & Hardware, Inc.
1000 N. 1st St. Ste. 100
P.O. Box 100
Fargo, ND 58103
(701) 783-8888

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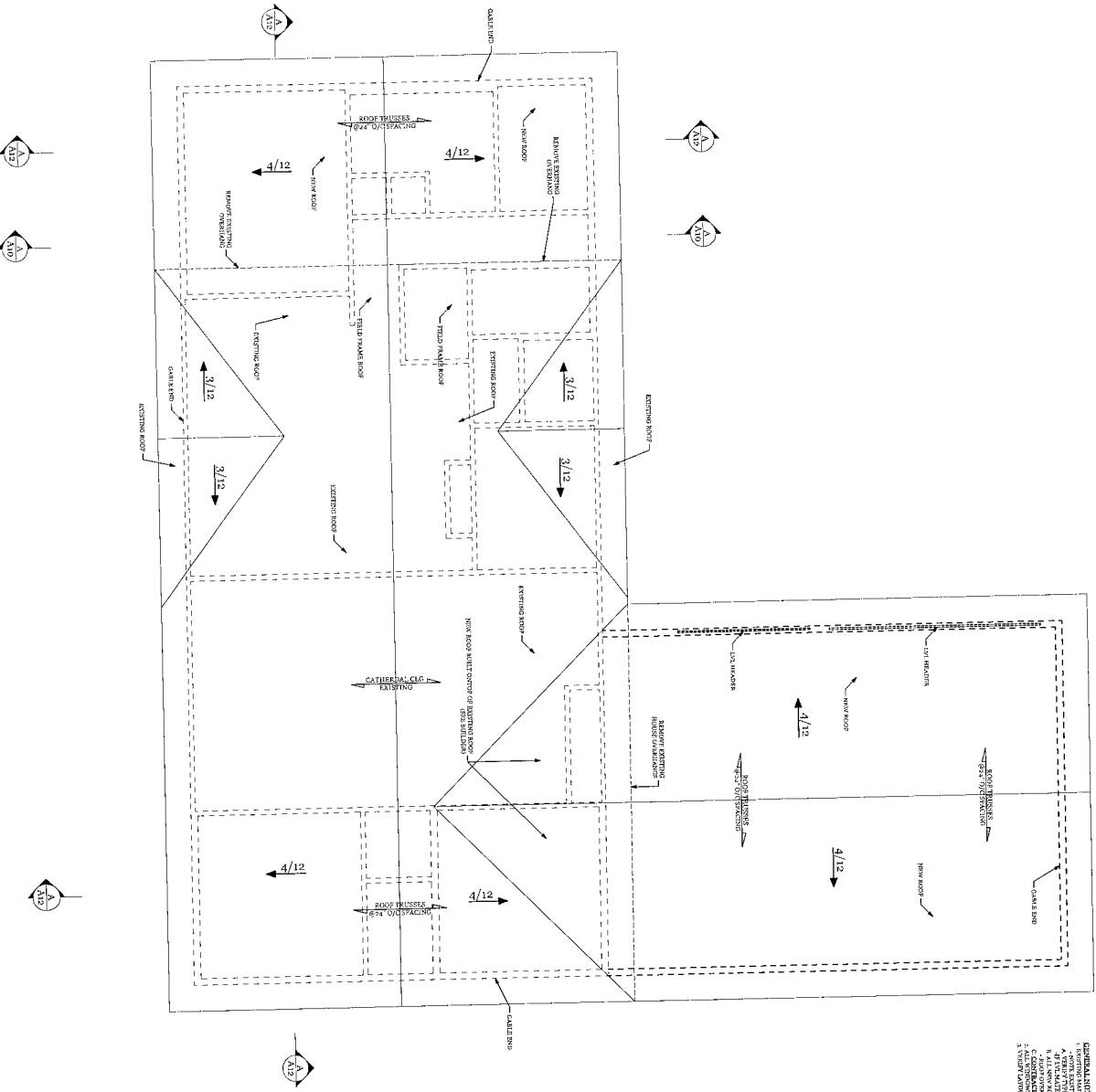
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Vidden, Bryan & Anna (Lake remodel/additions) MAIN FLOOR PLAN

Project Description:	Drawn by: JCHI-BR	Checked by: T.L.S.	A3
Date Issued: 2/10/2025	Revised Date: 2/10/2025		
Scale: REFER TO PLAN	Simonson Lumber & Hardware, Inc. 6100 Reynolds Ave. Fargo, ND 58103		

1 ROOF
SCALE: 1/4" = 1'-0"



GENERAL NOTES:
 1. REFER TO ARCHITECTURE ROOF PLAN 1-10 FOR FINISHES, SLOPES, AND OTHER DETAILS.
 2. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND ALL APPLICABLE LOCAL ORDINANCES.
 3. ALL ROOF WORK SHALL BE DONE IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE.
 5. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT AREAS AT ALL TIMES.
 6. THE CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES AND STRUCTURES.
 7. THE CONTRACTOR SHALL MAINTAIN PROPER DRAINAGE AT ALL TIMES.
 8. THE CONTRACTOR SHALL MAINTAIN PROPER VENTILATION AT ALL TIMES.
 9. THE CONTRACTOR SHALL MAINTAIN PROPER INSULATION AT ALL TIMES.
 10. THE CONTRACTOR SHALL MAINTAIN PROPER FLASHING AT ALL TIMES.

NOTICE TO CONTRACTOR:
 1. THIS PLAN IS A PRELIMINARY DESIGN AND IS SUBJECT TO CHANGE WITHOUT NOTICE.
 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE.
 3. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT AREAS AT ALL TIMES.
 4. THE CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES AND STRUCTURES.
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 8. THE CONTRACTOR SHALL MAINTAIN PROPER FLASHING AT ALL TIMES.

SIMONSON LUMBER & HARDWARE
 An Employee Owned Company
 Simonson Lumber & Hardware, Inc.
 Fargo, ND. Ph: (701) 438-3281

CONTRACTOR

RAYMOND HOMES

IF THIS DATE IS NOT MORE THAN 180 DAYS FROM THE DATE OF THE ORIGINAL PERMITTING APPLICATION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE.

2/10/2025

THIS PLAN IS THE MOST CURRENT PLAN AS OF THIS DATE.

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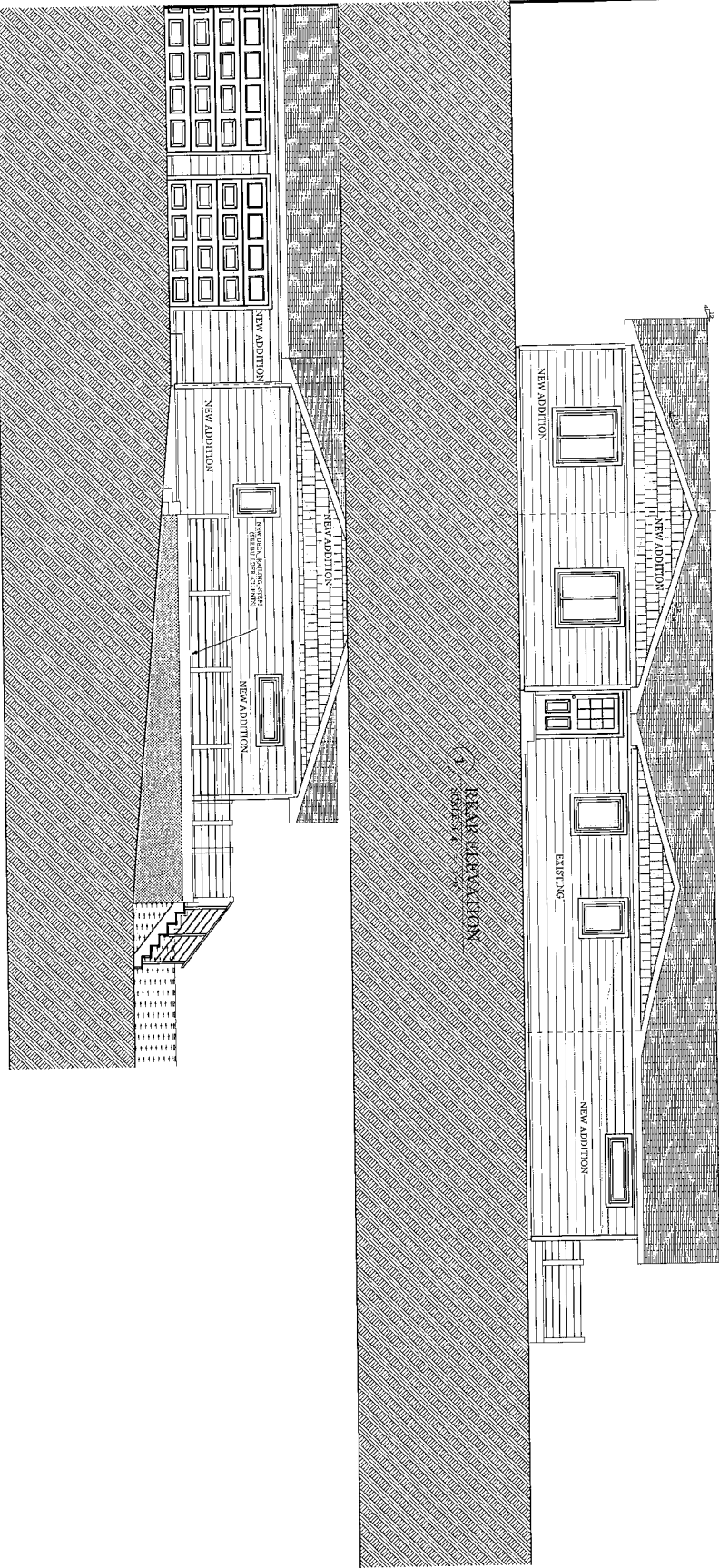
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Vidden, Bryan & Anna
(Lake remodel/additions)

ROOF PLAN

Project Description:

Drawn by: JCHH-BR	Checked by: T.L.S.	A4
Date Issued: 2/10/2025	Revised Date: 2/10/2025	
Scale: REFER TO PLAN	Simonson Lumber & Hardware, Inc. is not responsible for any changes after the date above.	



2 LEFT ELEVATION
SCALE: 1/4" = 1'-0"

SQUARE FOOTAGE/DIMENSIONS
 CONTRACTOR'S APPROVAL/DATE
 based on any floor plans or measurements shown. Before any Contractor is responsible for verifying the
 square footage shown on these drawings.



Simonson Lumber & Hardware, Inc.
 Fargo, ND. Ph: (701) 838-8881

CONTRACTOR
RAYMOND HOMES

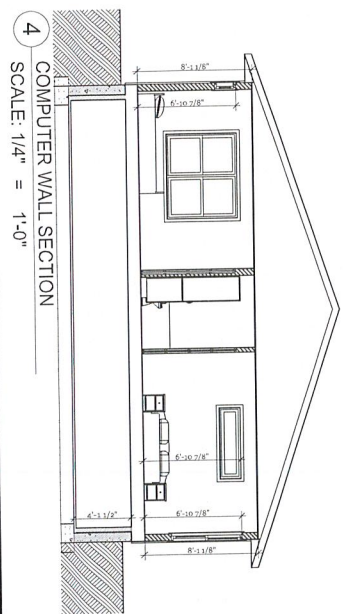
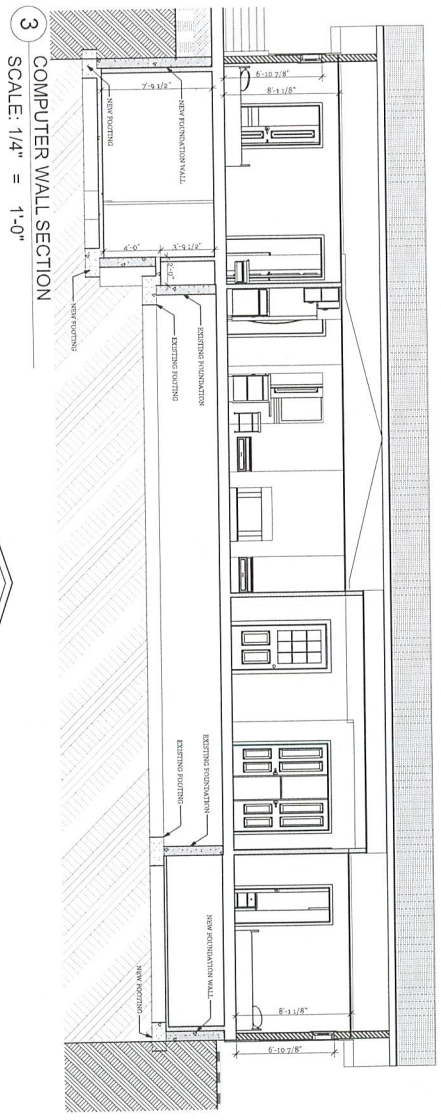
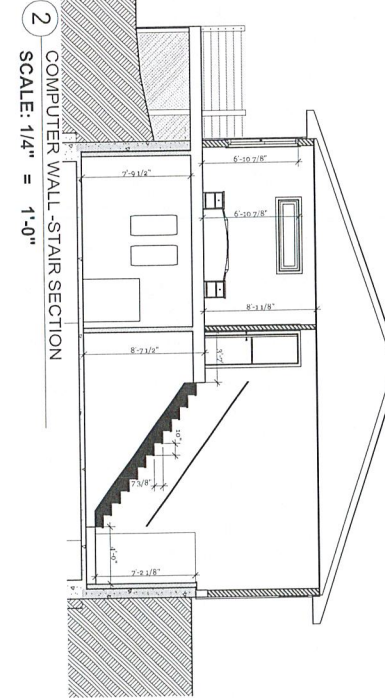
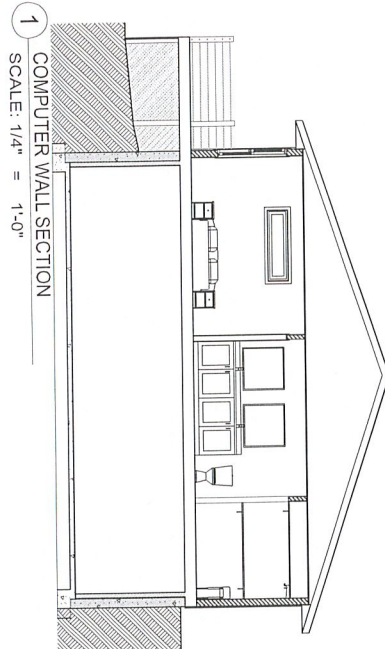
DATE: 2/10/2025
 IF THIS DATE IS MORE THAN 1 WEEK OLD
 PLEASE VERIFY WITH THE DESIGNER AT
 THE TIME OF ANY PERMITS OR INSPECTIONS
 PERMITS OR INSPECTIONS

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**Vidden, Bryan & Anna
 (Lake remodel/additions)
 ELEVATIONS**

Project Description:	Drawn by: JCHI-BR	Checked by: T.L.S.	A6
	Date Issued: 2/10/2025	Revised Date: 2/10/2025	
	Scale: REFER TO PLAN	Simonson Lumber & Hardware, Inc. is not responsible for any changes after the date above.	



Vidden, Bryan & Anna
(Lake remodel/additons)

SECTIONS

Project Description:	Drawn by: JCHI-BR	Checked by: T.L.S.	A12
	Date Issued: 2/10/2025	Revised Date: 2/10/2025	
	Scale: REFER TO PLAN		Simonson Lumber & Hardware, Inc. is not responsible for any changes after the first above.

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CONTRACTOR

**RAYMOND
HOMES**

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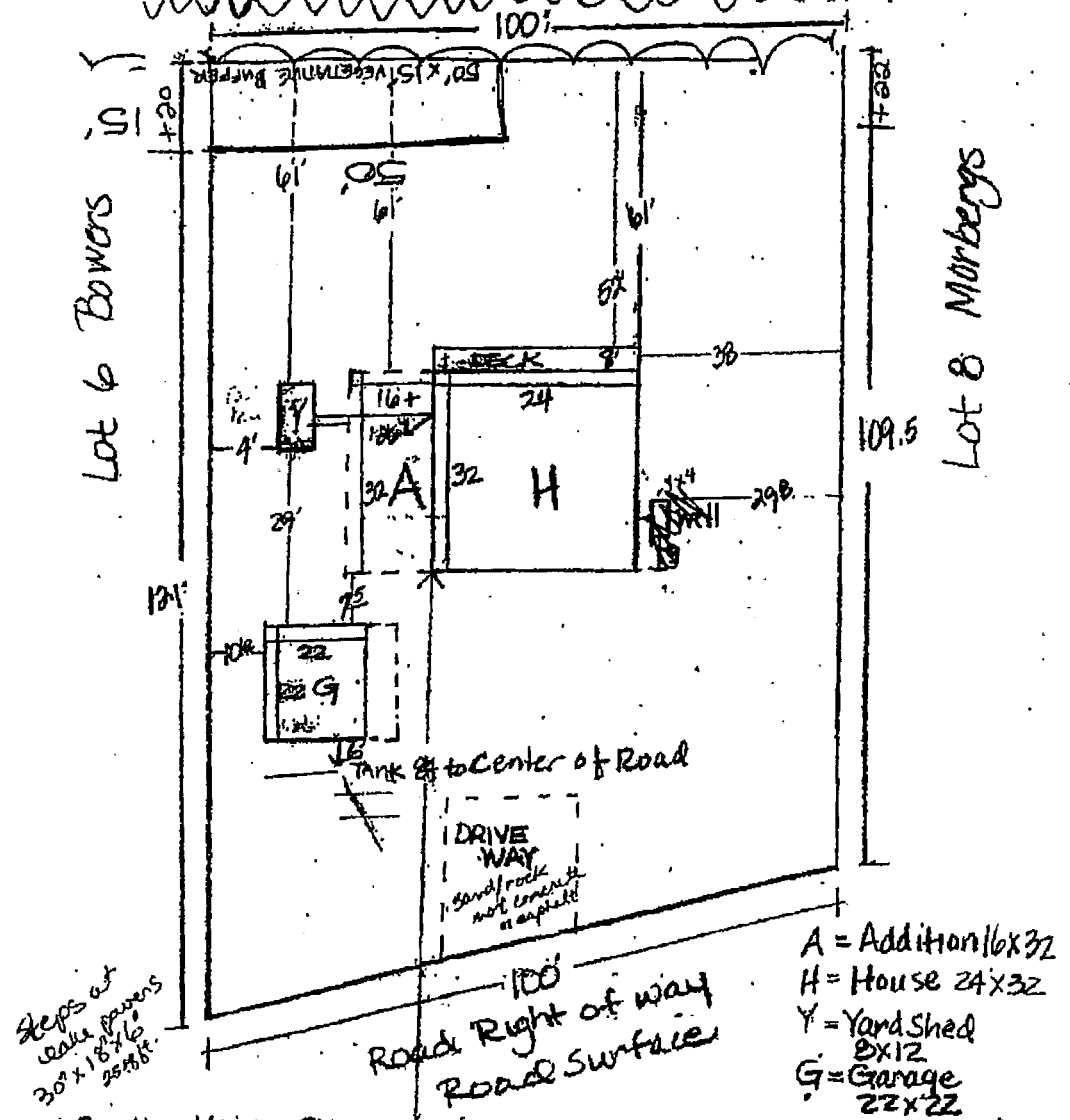
2/10/2025

Simonson Lumber & Hardware, Inc.
Fargo, ND. Ph: (701) 238-3281

11-22-24

Bryan + Anna Viddon
37566 Tulaby Lake Drive
Wauwatosa WI 53225
Cell: 701-741-8293

along the shoreline
Tulaby Lake



Steps at
edge of
30' x 18' x 15'
25' x 15'

Scott + Karen Skauge
37566 Tulaby Lake Drive
R09G565000

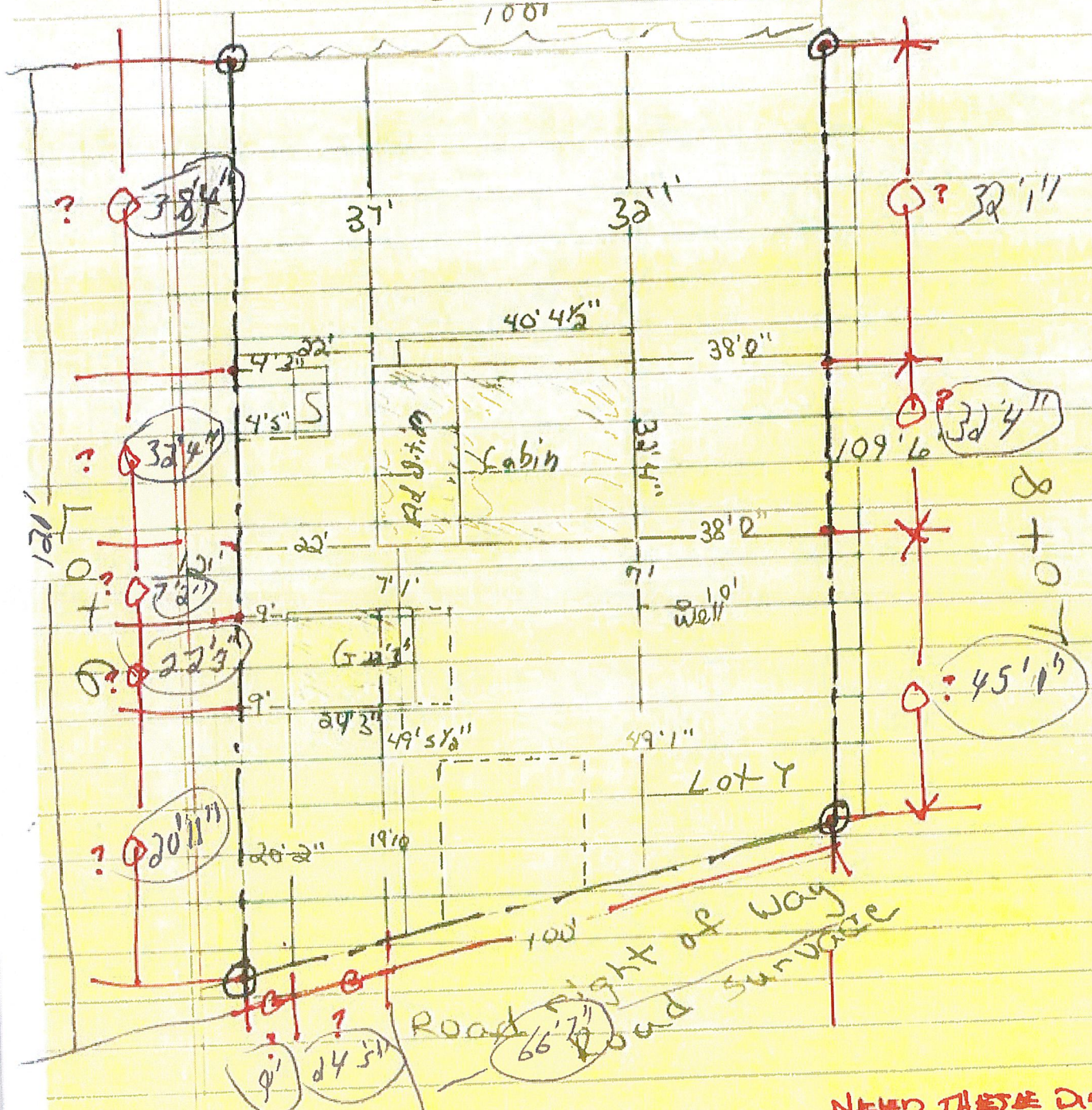
A = Addition 16x32
H = House 24x32
Y = Yard Shed
8x12
G = Garage
22x22

WELL 4' x 4'
HOUSE TO WELL 10'
HOUSE TO TANK 7' 0" OR 4'

Bryan + Anna V. dden
 37566 Tulaby Lake Dr
 Wauconda, IL 60158
 RD 90565000

Jan 26
 2026

Stone line
 100'



missisy
 pimens was added
 01/22/2025
 10:36 AM
 BV

NEED THESE DIMS
 TO FIND / TRACK USING
 DIMS TO LOCATE EXISTING
 01/27/2025 9:56 AM

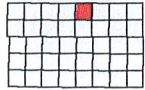
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Date: 2/18/2025



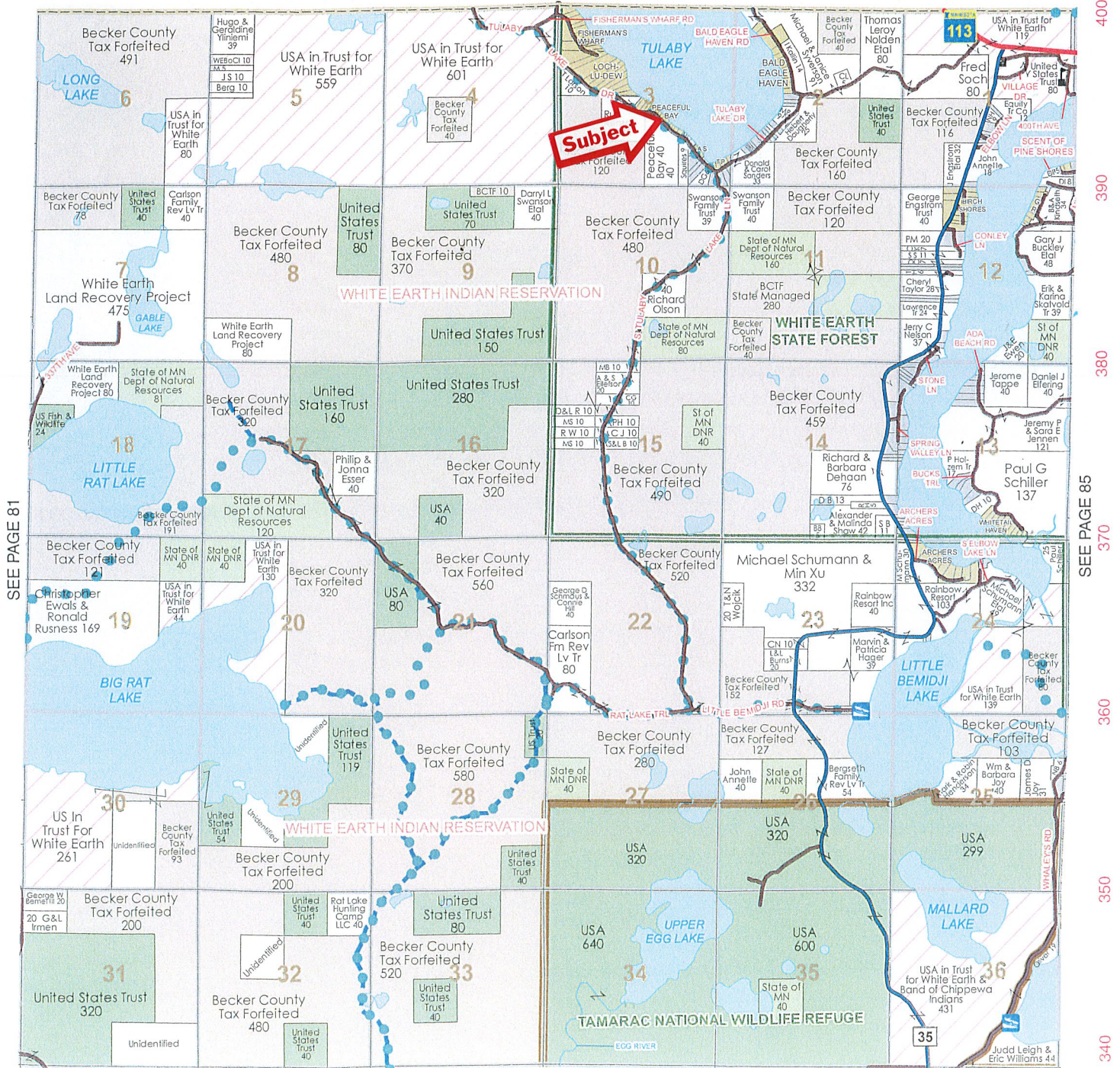


Eagle View

Township 142N - Range 39W

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MAHONOMEN COUNTY



SEE PAGE 81

SEE PAGE 85

SEE PAGE 67

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370

360

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340



COUNTY OF BECKER

Planning and Zoning

915 Lake Ave, Detroit Lakes, MN 56501

Phone: 218-846-7314

BOARD OF ADJUSTMENT NOTICE OF PUBLIC HEARING

****HEARING DATE AND LOCATION****

April 10th, 2025 @ 6:00 P.M.

****Commissioner's Room – Becker County Courthouse****

APPLICANT: Amanda Younggren & Corey Younggren
710 4th St SE
Hallock, MN 56728

Project Location: 33915 N Cotton Lake Rd
Rochert, MN 56578

APPLICATION AND DESCRIPTION OF PROJECT: Request a variance to construct a dwelling with attached garage, deck, and patio to be located zero (0) feet from the top of a bluff deviating from the required setback of thirty(30) feet due to setback and topographical issues.

LEGAL LAND DESCRIPTION: Tax ID Number: 16.0356.000 **Legal Land Description:** Section 35 Township 140 Range 040; MAUGHAN BEACH 140 40 LOTS 6-10 INCLUSIVE, Cotton Lake.

Replies/Comments: Public testimony regarding this application will only be received by email, in writing, or in-person at the hearing. Interested parties are invited to submit to the Becker County Department of Planning and Zoning written facts, arguments, or objectives by 12:00 P.M. the date of the Hearing. These statements should bear upon the suitability of the location and the adequacy of the Project and should suggest any appropriate changes believed to be desirable.

Replies may be addressed to:

PLANNING AND ZONING DEPARTMENT

**915 Lake Avenue
Detroit Lakes, MN 56501**

EMAIL: susan.rockwell@co.becker.mn.us

To view all application information on this project please visit:

https://www.co.becker.mn.us/government/meetings/planning_zoning/board_adjustments/

If you have questions about the Project, feel free to call 218-846-7314.

Jurisdiction: This Project comes under the Regulatory Jurisdiction of the Becker County Zoning Laws.

Regulatory Authority: this application will be reviewed according to the provisions of the Becker County Zoning Ordinance. The decision whether to issue a permit will be based on an evaluation of the probable impact including cumulative impacts of the proposed activity. That decision will reflect the concern for both protection and utilization of important resources. All factors which may be relevant to the proposal will be considered including the cumulative effects: Land Use, Shoreline Protection, Water Supply and Conservation, Safety, Economics, and in general, the needs and welfare of the people.

Weather conditions may change the hearing date and time. If bad weather occurs, please listen to the local Detroit Lakes Radio Stations, or contact the Zoning Office by 4:30 PM on the day of the hearing for possible rescheduling of the hearing.

Variance Application Review

Permit # 418

Property and Owner Review

Parcel Number(s): **160356000**

Owner: **Amanda Younggren & Corey Younggren**

Township-S/T/R: **HOLMESVILLE-35/140/040**

Mailing Address:
710 4th St SE Hallock, MN 56728

Site Address: **33915 N Cotton LAke Rd Rochert, MN 56578**

Lot Recording Date: **Prior to 1971**

Original Permit Nbr: **2025-3458**

Legal Descr: **MAUGHAN BEACH 140 40|LOTS 6-10 INCLUSIVE**

Variance Details Review

Variance Request Reason(s):

- Setback Issues
- Alteration to non-conforming structure
- Lot size not in compliance
- Topographical Issues (slopes, bluffs, wetlands)
- Other

If 'Other', description:

Description of Variance Request: **Request a variance to construct a dwelling with attached garage, deck, and patio to be located zero (0) feet from the top of a bluff deviating from the required setback of thirty(30) feet due to setback and topographical issues.**

OHW Setback: **100+ NOT AN ISSUE**

Side Lot Line Setback: **10+NOT AN ISSUE**

Rear Setback (non-lake): **NA**

Bluff Setback: **0**

Road Setback: **20+ NOT AN ISSUE**

Road Type: **Township**

Existing Imp. Surface Coverage: **6%**

Proposed Imp. Surface Coverage: **10%**

Existing Structure Sq Ft:

Proposed Structure Sq Ft: **3726**

Existing Structure Height:

Proposed Structure Height: **26-30'**

Existing Basement Sq Ft: **NO**

Proposed Basement Sq Ft: **YES WALK-OUT 1761 SQFT**

Change to roofline? **N/A**

Change to main structural framework? **N/A**

Other Questions Review

1. Is the variance in harmony with the purposes and intent of the ordinance? **Yes**

Explain: **The proposed dwelling will increase the existing setback from the lake.**

2. Is the Variance consistent with the Becker County Comprehensive Plan? **Yes**

Explain: **The proposed dwelling will improve the appearance of the lot, increase living space, and increase the setback from the OHW.**

3. Does the proposal put the property to use in a reasonable manner? **Yes**

Explain: **The property is located on a recreational development lake and will be used in a residential/recreational manner.**

4. Are there circumstances unique to the property? **Yes**

Explain: **The original cabin was constructed closer to the OHW.**

5. Will the variance maintain the essential character of the locality? **Yes**

Explain: **there are neighboring structures that are closer to the lake and in the bluff area than what is being requested. This proposal will not change character of the locality.**



35

160365000

160363000

160362000

04 ft setback

30ft setback

100ft setback

160356000

Matuqhan Beach

160261000

160351000

33ft setback

160338501

Gravel Paddock

160338502

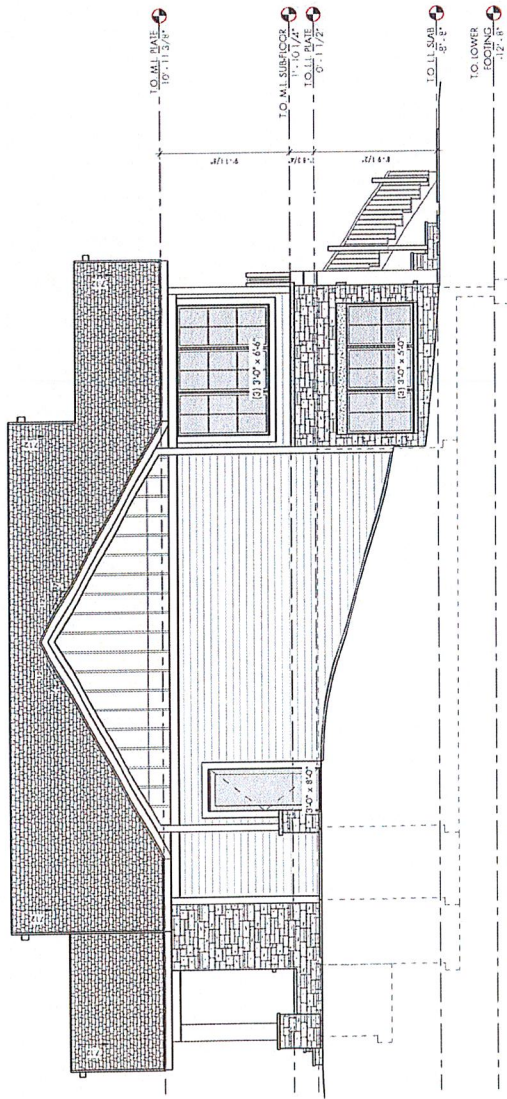
N GILTON LAKE RD

167055000

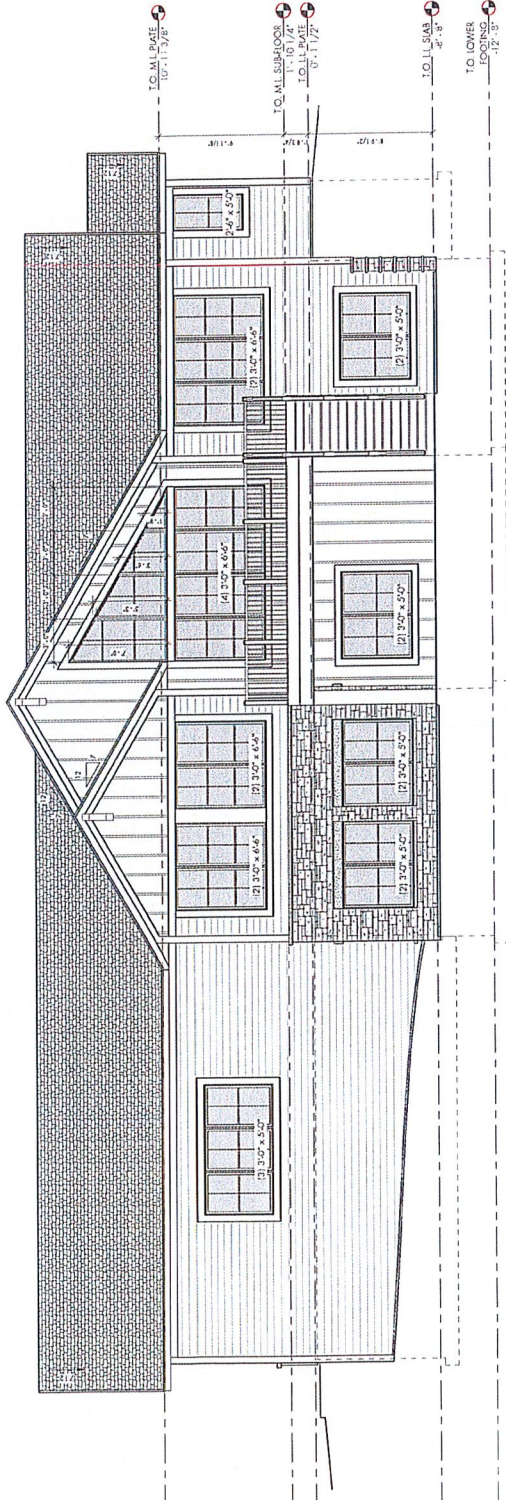
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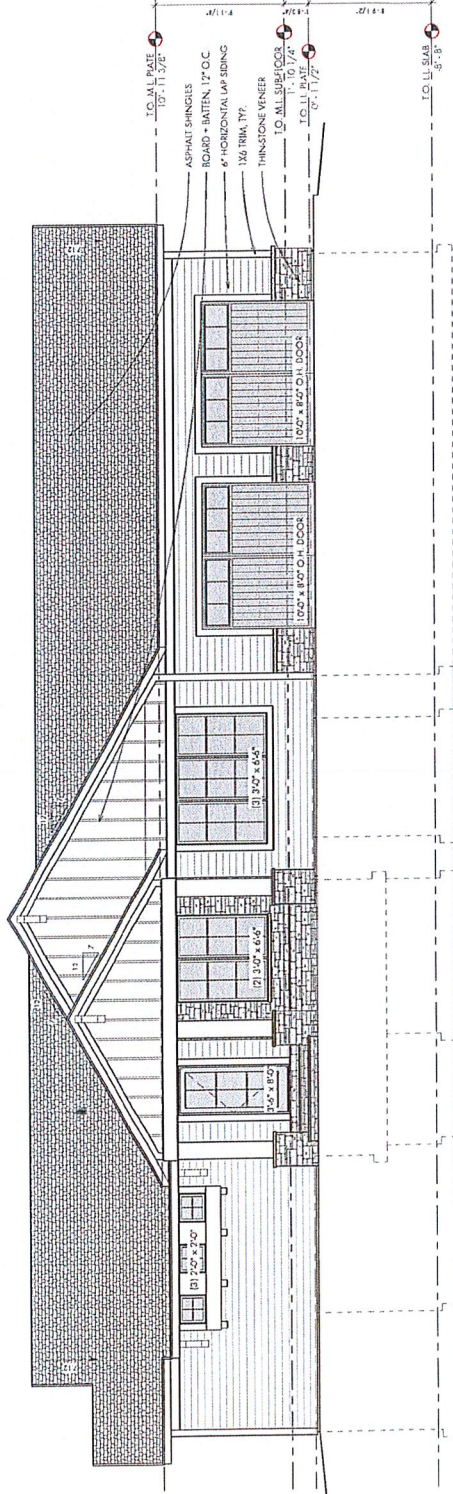
STROM ARCHITECTURE



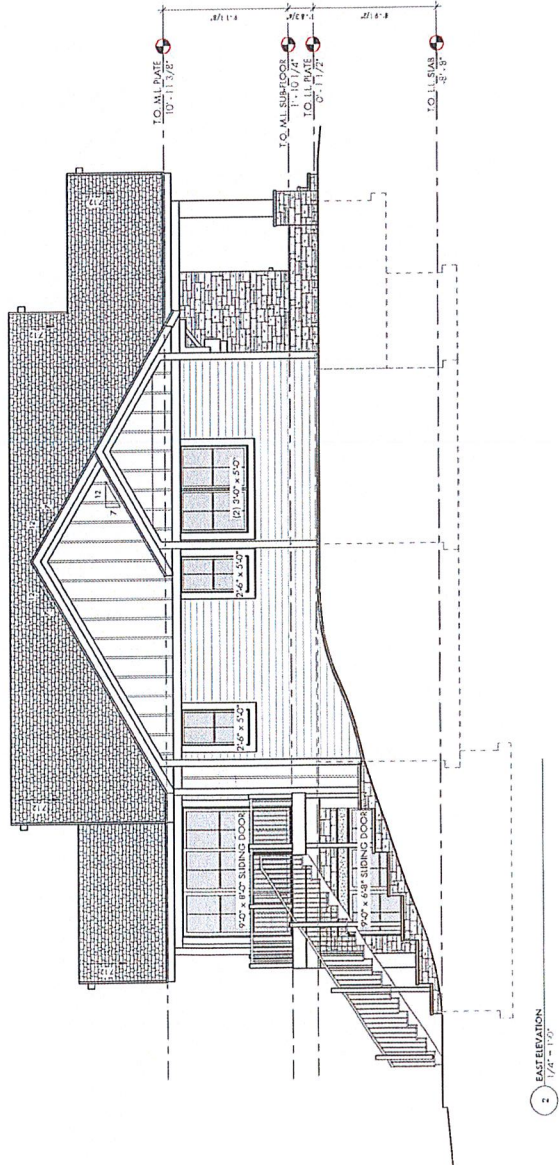
2 WEST ELEVATION
1/4" = 1'-0"



1 SOUTH ELEVATION
1/4" = 1'-0"



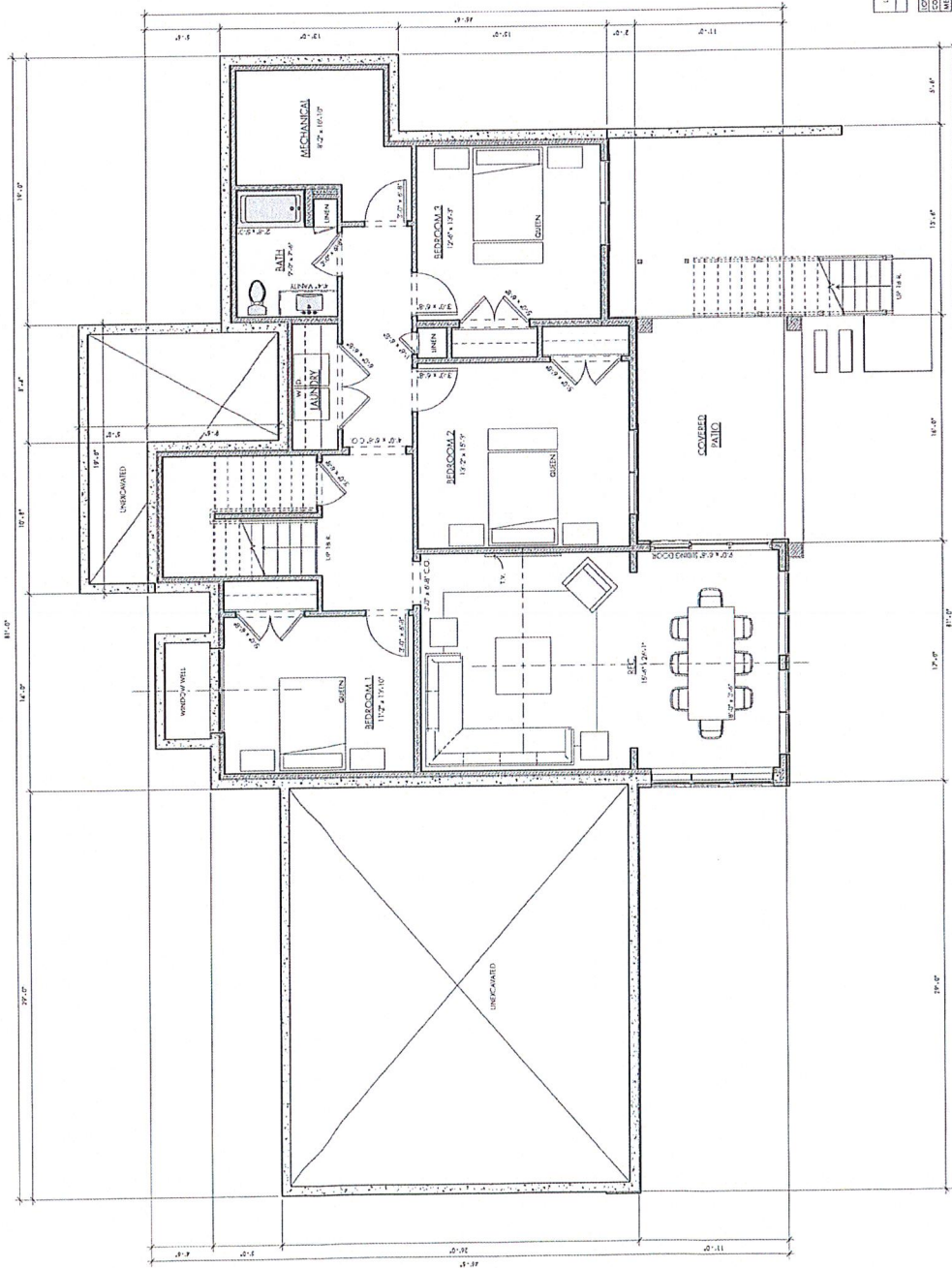
1 NORTH ELEVATION
1/4" = 1'-0"



2 EAST ELEVATION
1/4" = 1'-0"



STROM ARCHITECTURE



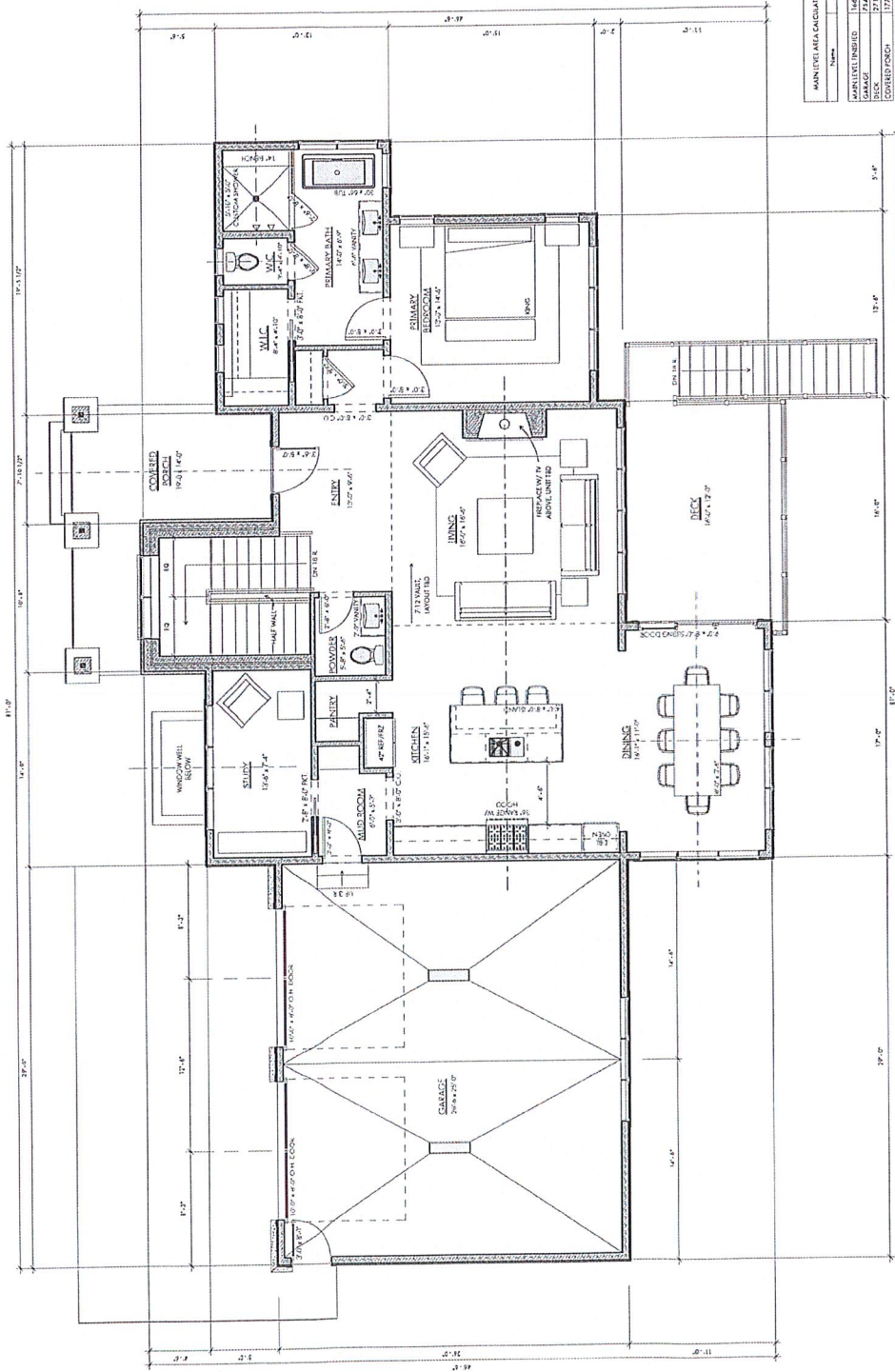
LOWER LEVEL AREA CALCULATIONS	
Name	Area
CONFERENCE ROOM	146.57
MECHANICAL	117.55

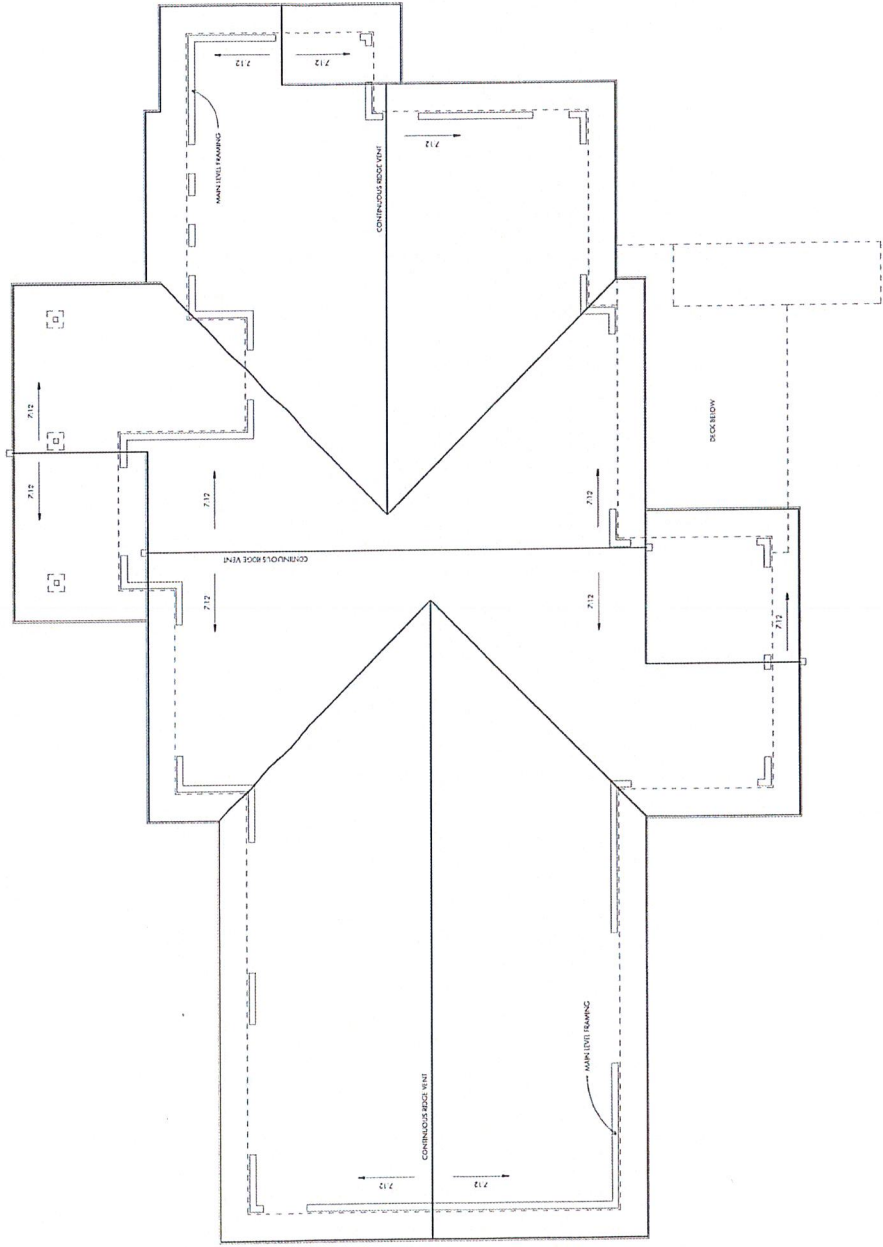
1 LOWER LEVEL PLAN
1/4" = 1'-0"





STROM ARCHITECTURE





1 ROOF PLAN
 1/4" = 1'-0"
 NORTH



STROM ARCHITECTURE



WATER

Moosehorn Beach 35

N. COTTON LAKE RD

Gravelle Addn

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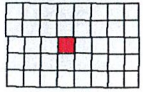
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Becker County



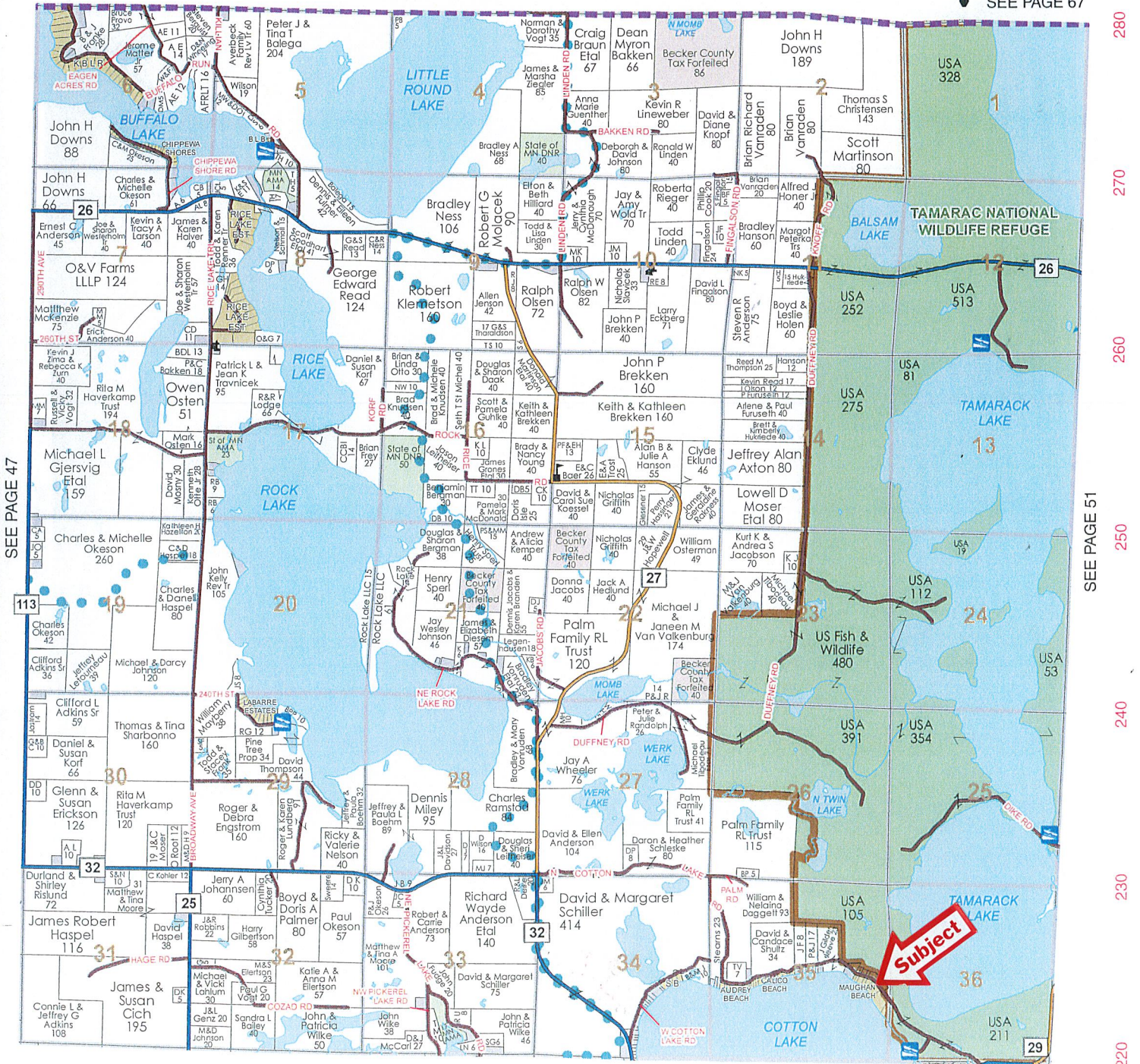
Holmesville

Township 140N - Range 40W

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SEE PAGE 67



SEE PAGE 33



COUNTY OF BECKER

Planning and Zoning

915 Lake Ave, Detroit Lakes, MN 56501

Phone: 218-846-7314

BOARD OF ADJUSTMENT

NOTICE OF PUBLIC HEARING

****HEARING DATE AND LOCATION****

April 10th, 2025 @ 6:00 P.M.

****Commissioner's Room – Becker County Courthouse****

APPLICANT: Jeff M Rockwell & Susan J Rockwell
16336 Gunflint Trl
Lakeville, MN 55044

Project Location: 48407 Dolly's Trail
Ponsford, MN

APPLICATION AND DESCRIPTION OF PROJECT: Request a variance to construct a detached garage sixty-five (65) feet from the Ordinary High Water (OHW) mark deviating from the required setback of one hundred (100) feet on a Recreational Development Lake and ten (10) feet from the front property line deviating from the required setback of twenty (20) feet due to lot size and setback issues.

LEGAL LAND DESCRIPTION: Tax ID Number: 12.0094.000 **Legal Land Description:** Section 16 Township 142 Range 037; PT GOVT LOT 3; BEG 1306.5' W, 1000.11' S, 510' E, 829.43'S & 13.88' SW OF N 1/4 COR SEC 16; TH NE 100.39', TH SE 126.98' TO LK, TH SW AL LK TO PT SE OF POB TH NW 115.4' TO POB, Bass Lake.

Replies/Comments: Public testimony regarding this application will only be received by email, in writing, or in-person at the hearing. Interested parties are invited to submit to the Becker County Department of Planning and Zoning written facts, arguments, or objectives by 12:00 P.M. the date of the Hearing. These statements should bear upon the suitability of the location and the adequacy of the Project and should suggest any appropriate changes believed to be desirable.

Replies may be addressed to:

PLANNING AND ZONING DEPARTMENT
915 Lake Avenue
Detroit Lakes, MN 56501

EMAIL: tyler.lindsay@co.becker.mn.us

To view all application information on this project please visit:

https://www.co.becker.mn.us/government/meetings/planning_zoning/board_adjustments/

If you have questions about the Project, feel free to call 218-846-7314.

Jurisdiction: This Project comes under the Regulatory Jurisdiction of the Becker County Zoning Laws.

Regulatory Authority: this application will be reviewed according to the provisions of the Becker County Zoning Ordinance. The decision whether to issue a permit will be based on an evaluation of the probable impact including cumulative impacts of the proposed activity. That decision will reflect the concern for both protection and utilization of important resources. All factors which may be relevant to the proposal will be considered including the cumulative effects: Land Use, Shoreline Protection, Water Supply and Conservation, Safety, Economics, and in general, the needs and welfare of the people.

Weather conditions may change the hearing date and time. If bad weather occurs, please listen to the local Detroit Lakes Radio Stations, or contact the Zoning Office by 4:30 PM on the day of the hearing for possible rescheduling of the hearing.

Variance Application Review

Permit # 419

Property and Owner Review

Parcel Number(s): **120094000**

Owner: **Jeff M Rockwell & Susan J Rockwell**

Township-S/T/R: **FOREST-16/142/037**

Mailing Address:
16336 Gunflint Trl Lakeville, MN 55044

Site Address: **48407 Dolly's Trl Ponsford MN**

Lot Recording Date: **Prior to 1971**

Original Permit Nbr: **SITE2025-3445**

Legal Descr: **PT GOVT LOT 3; BEG 1306.5' W, 1000.11' S, 510' E, 829.43'S & 13.88' SW OF N 1/4 COR SEC 16; TH NE 100.39',TH SE 126.98' TO LK,TH SW AL LK TO PT SE OF POB TH NW 115.4' TO POB**

Variance Details Review

Variance Request Reason(s):

- Setback Issues
- Alteration to non-conforming structure
- Lot size not in compliance
- Topographical Issues (slopes, bluffs, wetlands)
- Other

If 'Other', description:

Description of Variance Request: **Request a variance to construct a detached garage sixty-five (65) feet from the OHW of a recreational development lake deviating from the required setback of (100) feet on a Recreational Development Lake and (10) feet from the front property line deviating from the required setback of (20) feet due to lot size and setback issues.**

OHW Setback: **65**

Side Lot Line Setback: **10**

Rear Setback (non-lake):

Bluff Setback: **N/A**

Road Setback: **40**

Road Type: **Township**

Existing Imp. Surface Coverage: **5.8%**

Proposed Imp. Surface Coverage: **10.4%**

Existing Structure Sq Ft: **0**

Proposed Structure Sq Ft: **1356**

Existing Structure Height: **N/A**

Proposed Structure Height: **20**

Existing Basement Sq Ft:

Proposed Basement Sq Ft: **N/A**

Change to roofline? **N/A**

Change to main structural framework? **N/A**

Other Questions Review

1. Is the variance in harmony with the purposes and intent of the ordinance? **Yes**

Explain: **Yes, the proposed garage will be located as far away from the lake that we can fit on our lot.**

2. Is the Variance consistent with the Becker County Comprehensive Plan? **Yes**

Explain: **Yes, the garage will be out of the shore impact zone.**

3. Does the proposal put the property to use in a reasonable manner? **Yes**

Explain: **Yes, the structure will provide storage space while keeping the total impervious coverage low.**

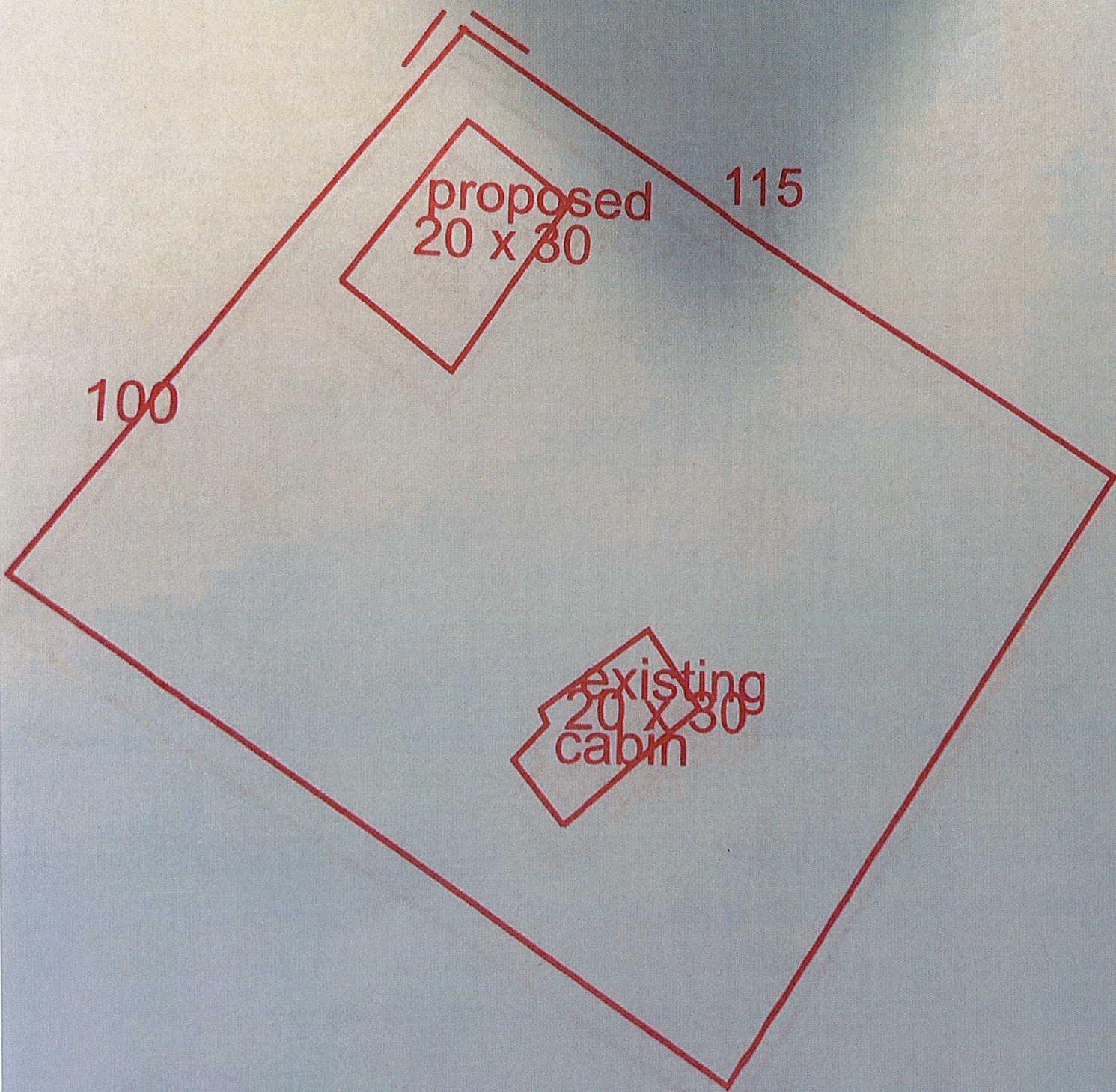
4. Are there circumstances unique to the property? **Yes**

Explain: **Yes, this is a nonconforming lot in area and width that does not allow for a garage to be constructed anywhere on the parcel to meet the front and rear setback requirements.**

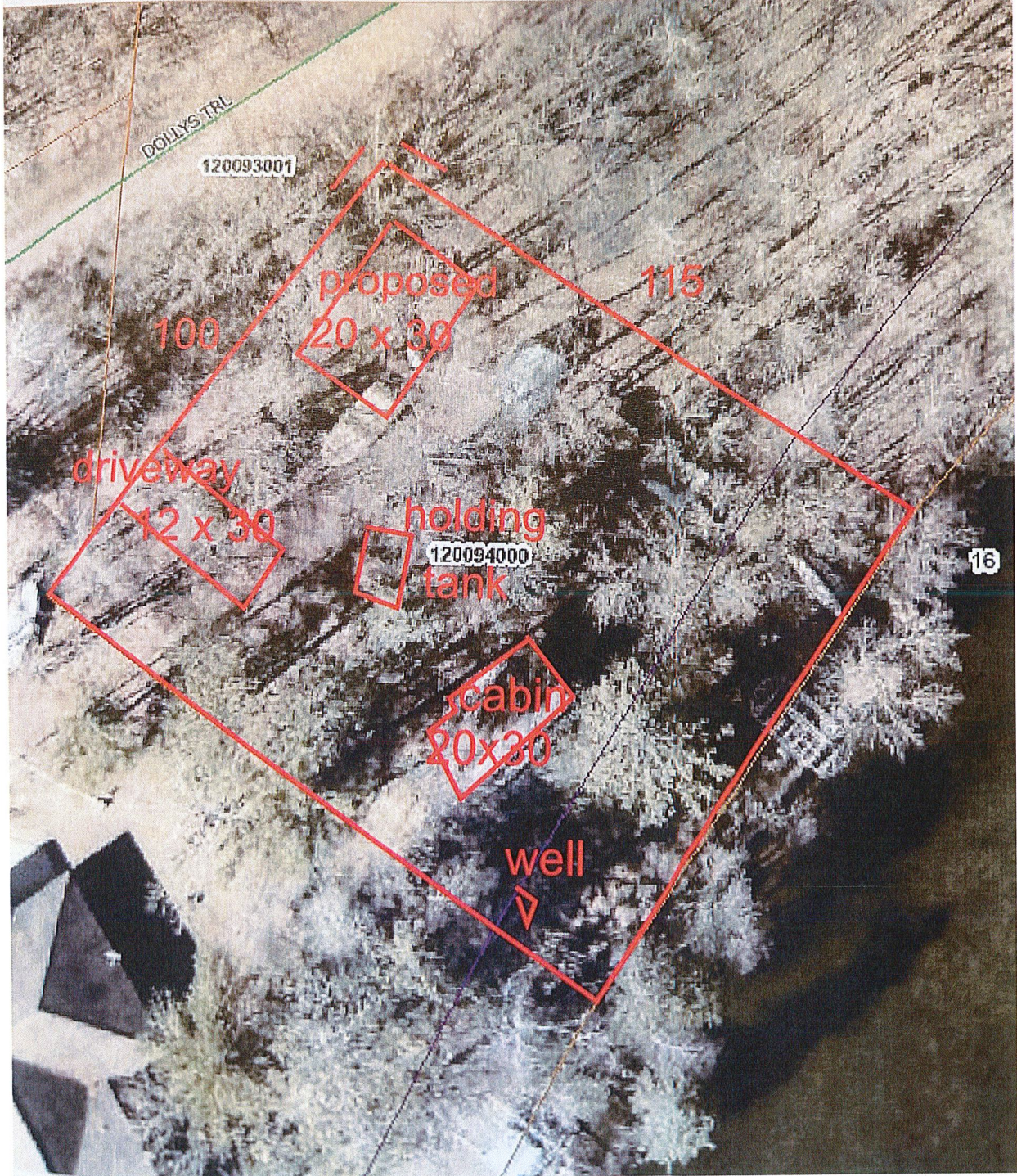
5. Will the variance maintain the essential character of the locality? **Yes**

Explain: **Yes, this garage will not change the character of the locality. There are many structures that are**

closer to this lake than what we are proposing.



Zoom Select Zoom Extent Clear Search Commands Identify Links Legend View Results X/Y Map Tips Draw Tools





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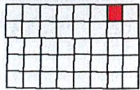
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Date: 3/19/2025

Becker County



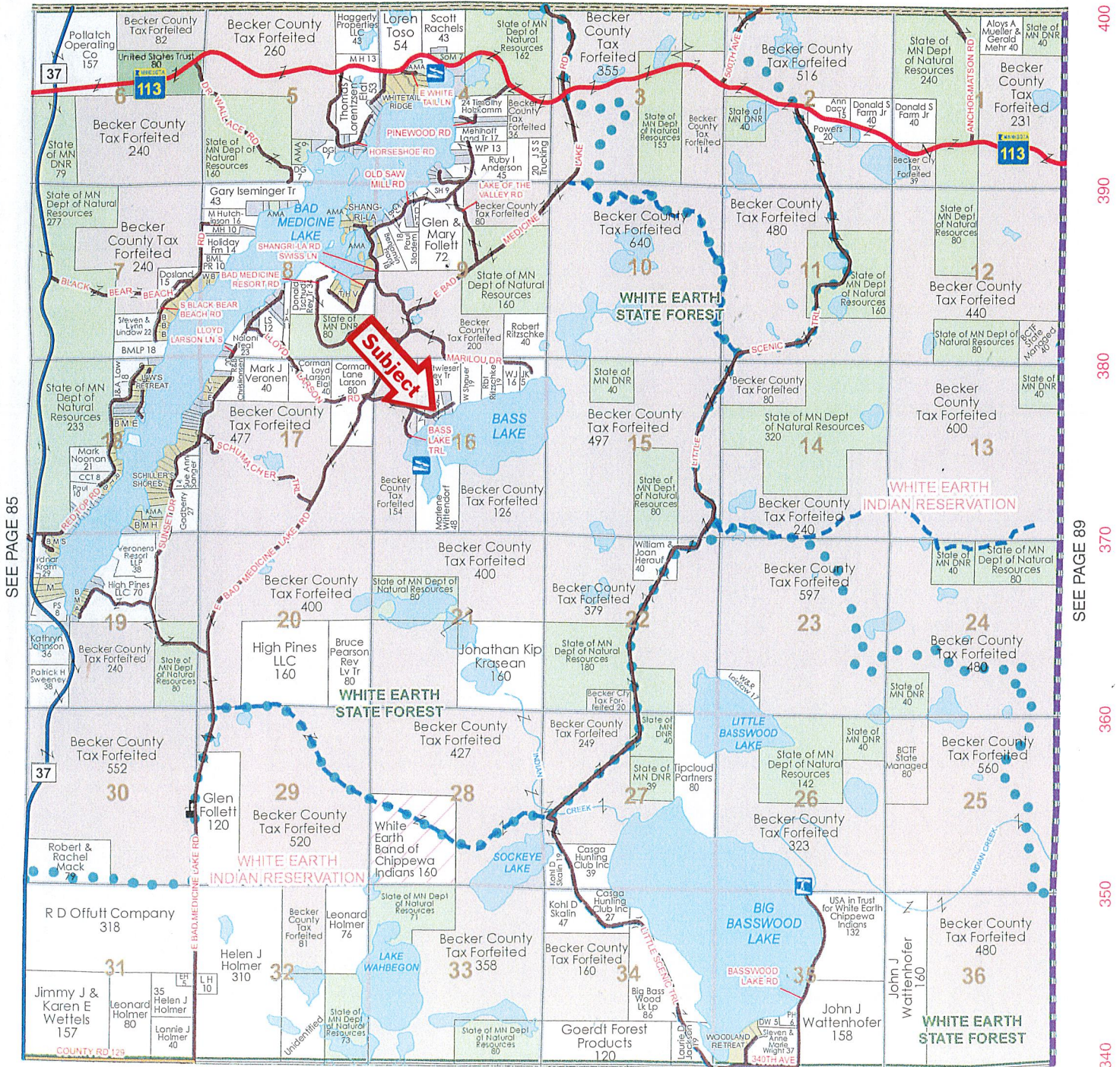


Forest

Township 142N - Range 37W

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CLEARWATER COUNTY



SEE PAGE 71



COUNTY OF BECKER

Planning and Zoning

915 Lake Ave, Detroit Lakes, MN 56501

Phone: 218-846-7314

BOARD OF ADJUSTMENT NOTICE OF PUBLIC HEARING

****HEARING DATE AND LOCATION****

April 10th, 2025 @ 6:00 P.M.

****Commissioner's Room – Becker County Courthouse****

APPLICANT: Potts Properties MN LLC
23875 N 91st St
Scottsdale, AZ 85255

Project Location: 24155 SW Island Dr
Rochert, MN

APPLICATION AND DESCRIPTION OF PROJECT: Request a variance to construct a dwelling to be located thirty-five (35) feet from the Ordinary High Water (OHW) mark deviating from the required setback of one hundred (100) feet on a recreational development lake due to lot size and setback issues.

LEGAL LAND DESCRIPTION: Tax ID Number: 15.0339.000 **Legal Land Description:** Section 24 Township 140 Range 039; PT LOT 4 BEG 1243'W & 316' N OF MC #7 TH NW 100'AL LK SW 371.23' S 117.11' & NE 445.71' TO BEG, Island Lake.

Replies/Comments: Public testimony regarding this application will only be received by email, in writing, or in-person at the hearing. Interested parties are invited to submit to the Becker County Department of Planning and Zoning written facts, arguments, or objectives by 12:00 P.M. the date of the Hearing. These statements should bear upon the suitability of the location and the adequacy of the Project and should suggest any appropriate changes believed to be desirable.

Replies may be addressed to:

PLANNING AND ZONING DEPARTMENT

**915 Lake Avenue
Detroit Lakes, MN 56501**

EMAIL: susan.rockwell@co.becker.mn.us

To view all application information on this project please visit:

https://www.co.becker.mn.us/government/meetings/planning_zoning/board_adjustments/

If you have questions about the Project, feel free to call 218-846-7314.

Jurisdiction: This Project comes under the Regulatory Jurisdiction of the Becker County Zoning Laws.

Regulatory Authority: this application will be reviewed according to the provisions of the Becker County Zoning Ordinance. The decision whether to issue a permit will be based on an evaluation of the probable impact including cumulative impacts of the proposed activity. That decision will reflect the concern for both protection and utilization of important resources. All factors which may be relevant to the proposal will be considered including the cumulative effects: Land Use, Shoreline Protection, Water Supply and Conservation, Safety, Economics, and in general, the needs and welfare of the people.

Weather conditions may change the hearing date and time. If bad weather occurs, please listen to the local Detroit Lakes Radio Stations, or contact the Zoning Office by 4:30 PM on the day of the hearing for possible rescheduling of the hearing.

Variance Application Review

Permit # 421

Property and Owner Review

Parcel Number(s): 150339000

Owner: POTTIS PROPERTIES MN LLC

Township-S/T/R: HEIGHT OF LAND-24/140/039

Mailing Address:
23875 N 91ST ST
SCOTTSDALE AZ 85255

Site Address: 24155 SW ISLAND DR ROCHERT MN

Lot Recording Date: Between 1971 and 1992

Original Permit Nbr: SITE2025-3447

Legal Descr: PT LOT 4 BEG 1243'W & 316' N OF MC #7 TH NW 100'AL LK SW 371.23' S 117.11' & NE 445.71' TO BEG

Variance Details Review

Variance Request Reason(s):

- Setback Issues
- Alteration to non-conforming structure
- Lot size not in compliance
- Topographical Issues (slopes, bluffs, wetlands)
- Other

If 'Other', description:

Description of Variance Request: **Request a variance to construct a dwelling to be located thirty-five (35) feet from the Ordinary High Water (OHW) mark deviating from the required setback of one hundred (100) feet on a recreational development lake due to lot size and setback issues.**

OHW Setback: 35'

Side Lot Line Setback: 10'

Rear Setback (non-lake):

Bluff Setback: N/A

Road Setback: 285'

Road Type: Township

Existing Imp. Surface Coverage: 9%

Proposed Imp. Surface Coverage: 15%

Existing Structure Sq Ft: 720

Proposed Structure Sq Ft: 3500

Existing Structure Height: 14

Proposed Structure Height: 20

Existing Basement Sq Ft: N/A

Proposed Basement Sq Ft: N/A

Change to roofline? Yes

Change to main structural framework? Yes

Other Questions Review

1. Is the variance in harmony with the purposes and intent of the ordinance? **Yes**

Explain: **The proposed dwelling will increase the existing setback to the lake from 25 feet to 35 feet.**

2. Is the Variance consistent with the Becker County Comprehensive Plan? **Yes**

Explain: **The proposed dwelling will improve the appearance of the lot, increase living space, and increase the setback to the OHW.**

3. Does the proposal put the property to use in a reasonable manner? **Yes**

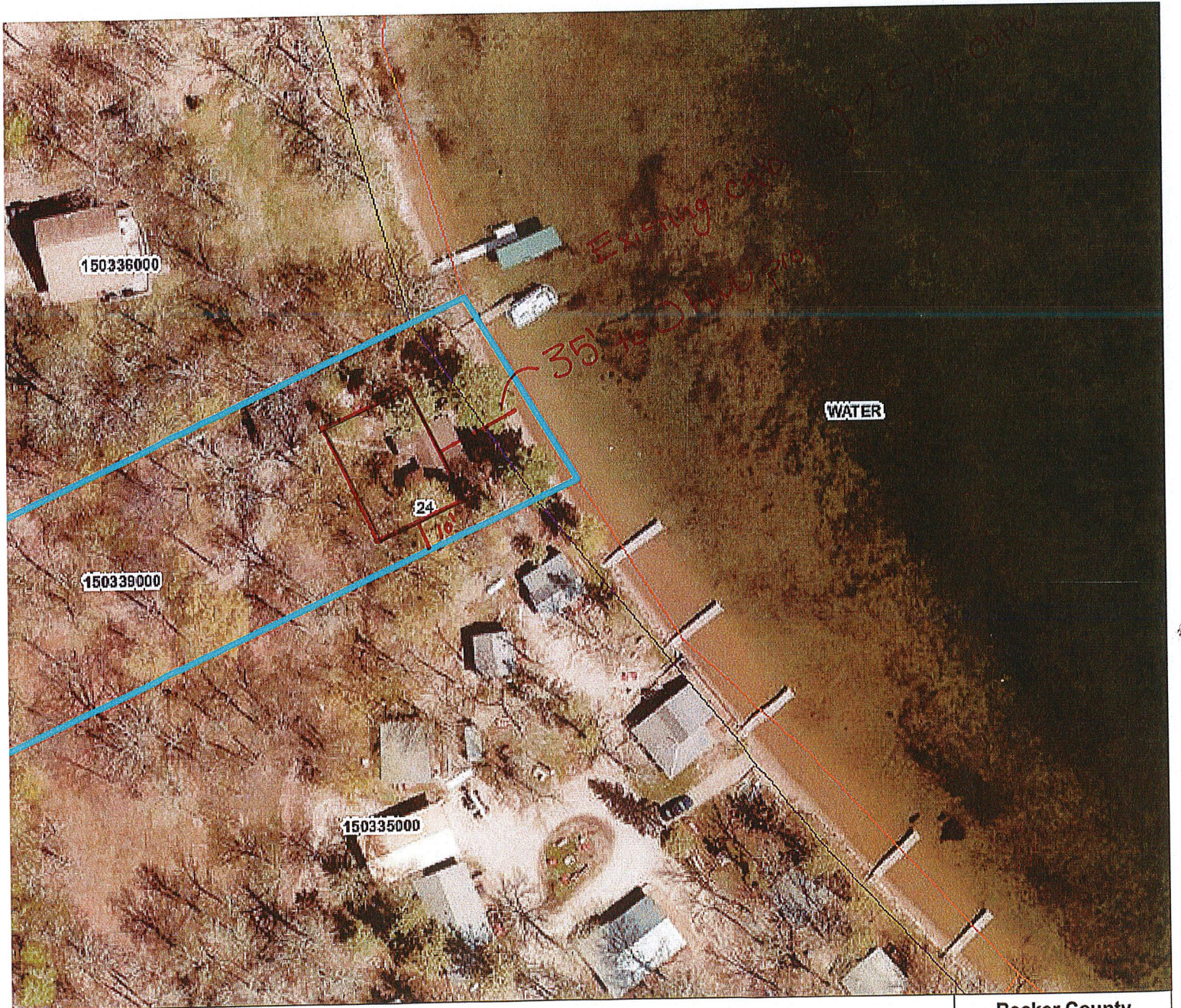
Explain: **The property is located on a recreational development lake and will be used in a residential/recreational manner.**

4. Are there circumstances unique to the property? **Yes**

Explain: **It is a non-conforming lot and the original cabin was constructed 25 feet from the the OHW of Island Lake.**

5. Will the variance maintain the essential character of the locality? **Yes**

Explain: **There are neighboring structures that are closer to the lake than what is being requested. This proposal will not change character of the locality.**





Becker County



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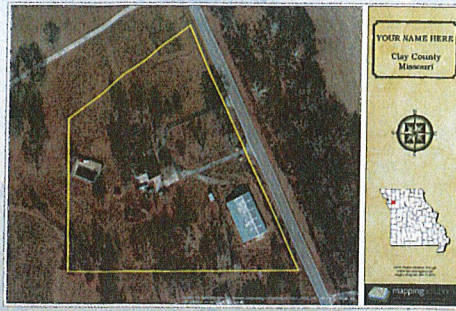
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Date: 3/3/2025

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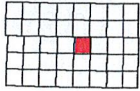
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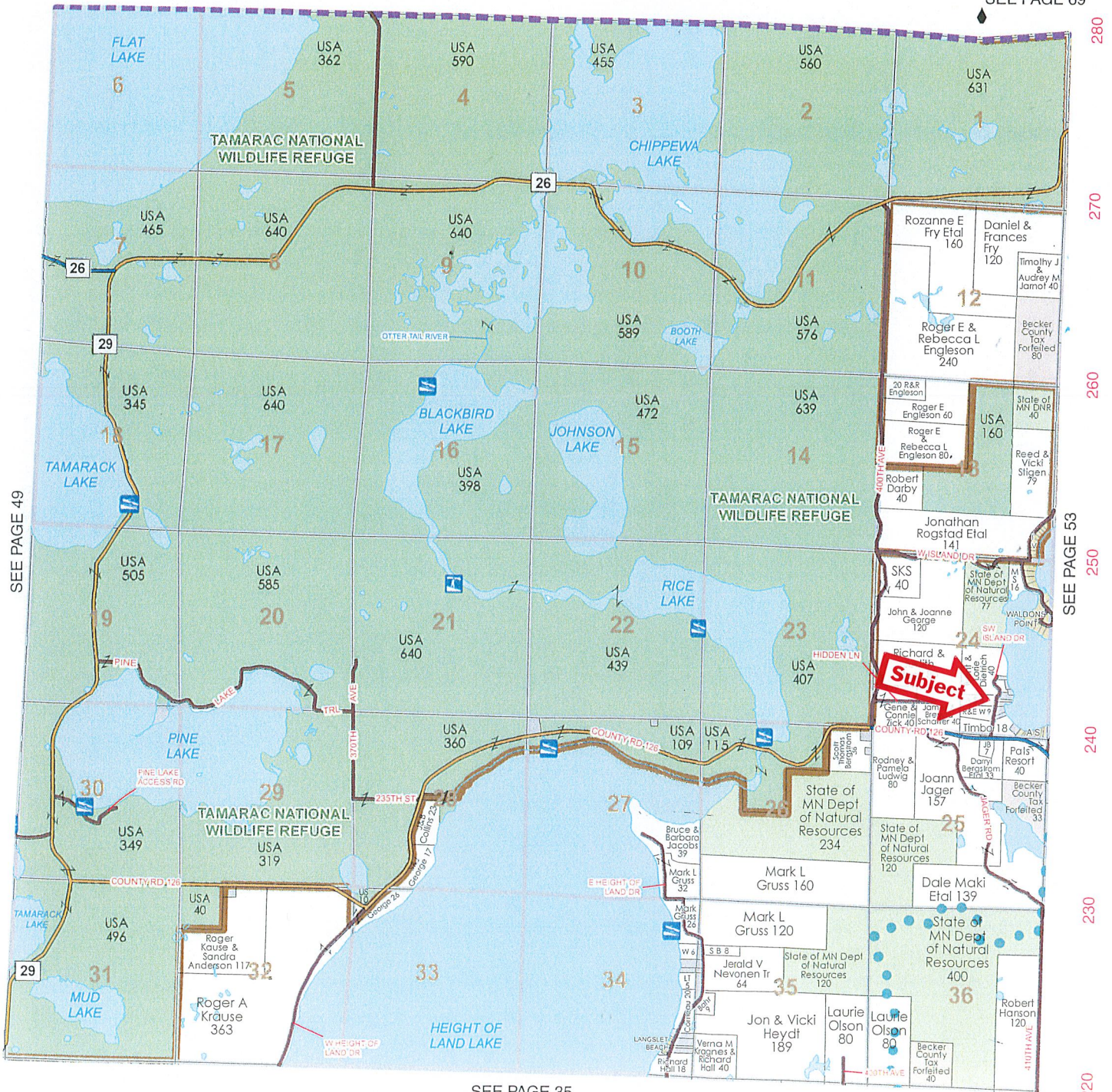
Height of Land (N)

Township 140N - Range 39W

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COUNTY OF BECKER

Planning and Zoning

915 Lake Ave, Detroit Lakes, MN 56501

Phone: 218-846-7314

BOARD OF ADJUSTMENT

NOTICE OF PUBLIC HEARING

****HEARING DATE AND LOCATION****

April 10th, 2025 @ 6:00 P.M.

****Commissioner's Room – Becker County Courthouse****

APPLICANT: Spirit & Life Evangelistic Association
1150 West Ave
Detroit Lakes, MN 56501

Project Location: TBD 120th Ave
Lake Park, MN 56554

APPLICATION AND DESCRIPTION OF PROJECT: Request a variance to construct an attached garage and sidewalk to an existing non-conforming structure to be located eighty-one (81) feet from the ordinary high-water (OHW) mark deviating from the required setback of one hundred and fifty (150) feet on a Natural Environment Lake due to lot size and setback issues.

LEGAL LAND DESCRIPTION: Tax ID Number: 18.0057.002 **Legal Land Description:** Section 08 Township 139 Range 043, 8-139-43 PT GOVT LOT 1: COMM NW COR GOVT LOT 1, S 200', SE 628.91', SE 595.48', E 234.16', ELY 281.18', S 254.76' TO SAND LAKE AND POB; N 254.76', WLY 281.18', W 234.16', NW 162.72', N 540.29', W 454.92', N AL DRVIE 500.54', W 38.47', S 1050.07' TO SAND LK, SLY & ELY AL SAND LK TO POB. INCL TRACT B. LESS 2.76AC (18-57-3, CEMETERY), Sand Lake.

Replies/Comments: Public testimony regarding this application will only be received by email, in writing, or in-person at the hearing. Interested parties are invited to submit to the Becker County Department of Planning and Zoning written facts, arguments, or objectives by 12:00 P.M. the date of the Hearing. These statements should bear upon the suitability of the location and the adequacy of the Project and should suggest any appropriate changes believed to be desirable.

Replies may be addressed to:

PLANNING AND ZONING DEPARTMENT

**915 Lake Avenue
Detroit Lakes, MN 56501**

EMAIL: susan.rockwell@co.becker.mn.us

To view all application information on this project please visit:

https://www.co.becker.mn.us/government/meetings/planning_zoning/board_adjustments/

If you have questions about the Project, feel free to call 218-846-7314.

Jurisdiction: This Project comes under the Regulatory Jurisdiction of the Becker County Zoning Laws.

Regulatory Authority: this application will be reviewed according to the provisions of the Becker County Zoning Ordinance. The decision whether to issue a permit will be based on an evaluation of the probable impact including cumulative impacts of the proposed activity. That decision will reflect the concern for both protection and utilization of important resources. All factors which may be relevant to the proposal will be considered including the cumulative effects: Land Use, Shoreline Protection, Water Supply and Conservation, Safety, Economics, and in general, the needs and welfare of the people.

Weather conditions may change the hearing date and time. If bad weather occurs, please listen to the local Detroit Lakes Radio Stations, or contact the Zoning Office by 4:30 PM on the day of the hearing for possible rescheduling of the hearing.

Variance Application Review

Permit # 417

Property and Owner Review

Parcel Number(s): **180057002**

Owner: **SPIRIT & LIFE EVANGELISTIC ASSOCIATION**

Township-S/T/R: **LAKE PARK-08/139/043**

Mailing Address:
**1150 WEST AVE
DETROIT LAKES MN 56501**

Site Address: **TBD 120th Ave Lake Park, MN**

Lot Recording Date: **Prior to 1971**

Original Permit Nbr: **SITE2025-3457**

Legal Descr: **8-139-43 PT GOVT LOT 1: COMM NW COR GOVT LOT 1, S 200', SE 628.91', SE 595.48', E 234.16', ELY 281.18', S 254.76' TO SAND LAKE AND POB; N 254.76', WLY 281.18', W 234.16', NW 162.72', N 540.29', W 454.92', N AL DRVIE 500.54', W 38.47', S 1050.07' TO SAND LK, SLY & ELY AL SAND LK TO POB. INCL TRACT B. LESS 2.76AC (18-57-3, CEMETERY).**

Variance Details Review

Variance Request Reason(s):

- Setback Issues
- Alteration to non-conforming structure
- Lot size not in compliance
- Topographical Issues (slopes, bluffs, wetlands)
- Other

If 'Other', description:

Description of Variance Request: **Request a variance to construct an attached garage and sidewalk to an existing non-conforming structure to be located eighty-one (81) feet from the ordinary high-water (OHW) mark deviating from the required setback of one hundred and fifty (150) feet on a Natural Environment lake due to lot size and setback issues.**

OHW Setback: **81'**

Side Lot Line Setback: **678'**

Rear Setback (non-lake):

Bluff Setback: **N/A**

Road Setback: **970'**

Road Type: **Township**

Existing Imp. Surface Coverage: **3%**

Proposed Imp. Surface Coverage: **3%**

Existing Structure Sq Ft: **4520**

Proposed Structure Sq Ft: **3060**

Existing Structure Height: **20**

Proposed Structure Height: **20**

Existing Basement Sq Ft: **N/A**

Proposed Basement Sq Ft: **N/A**

Change to roofline? **Yes**

Change to main structural framework? **No**

Other Questions Review

1. Is the variance in harmony with the purposes and intent of the ordinance? **Yes**

Explain: **Yes, the proposed attached garage will be constructed outside of the shore impact zone. If granted, this variance will reduce the overall footprint of the structure and remove 876 square feet of impervious surface from the shore impact zone.**

2. Is the Variance consistent with the Becker County Comprehensive Plan? **Yes**

Explain: **Yes, the proposed variance will clean up the property and will not affect neighboring views.**

3. Does the proposal put the property to use in a reasonable manner? **Yes**

Explain: **Yes, the proposal would allow the existing structure to be used in a reasonable manner by adding storage outside of the shore impact zone and removing the existing shed that is located in the shore impact**

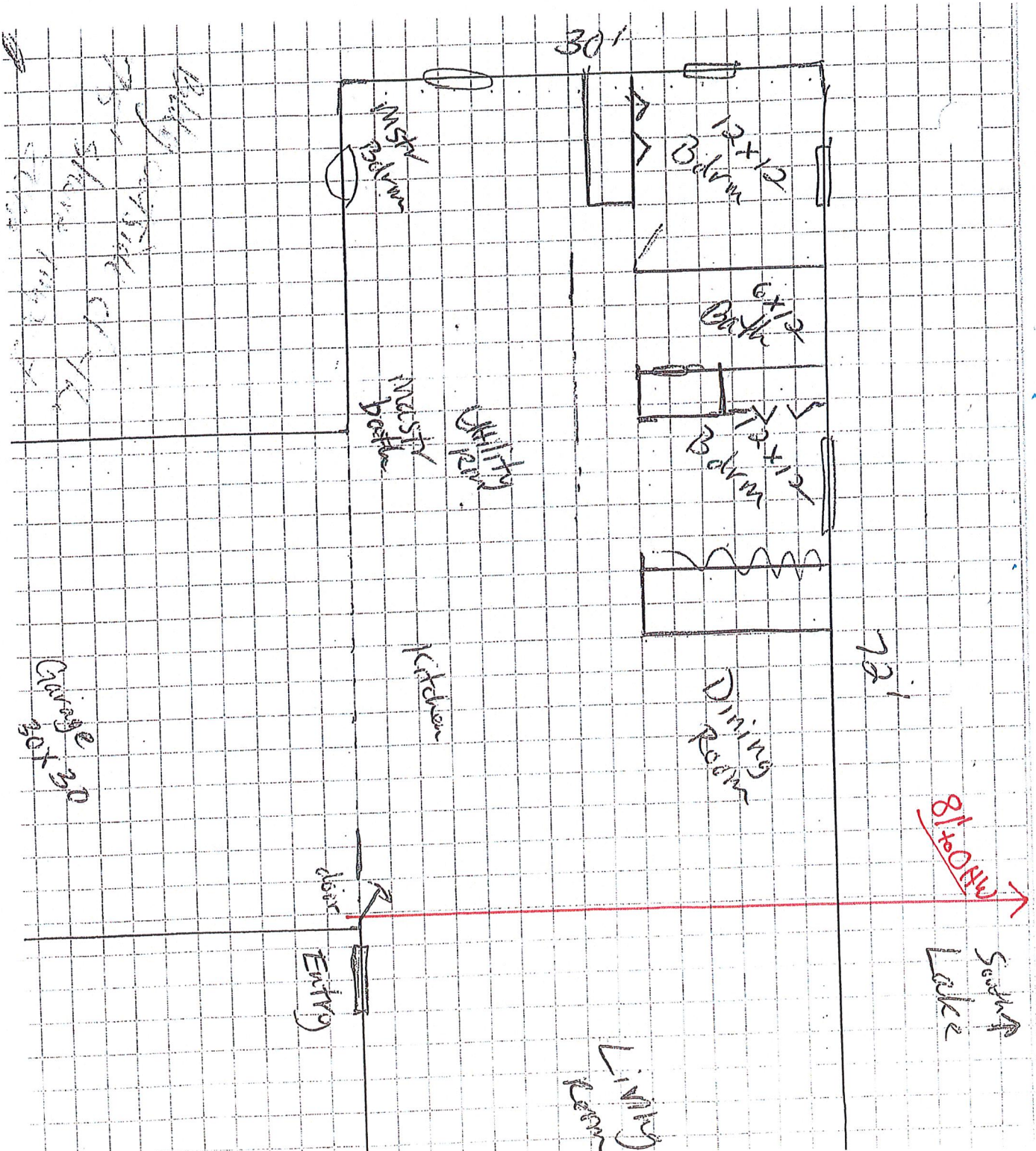
zone.

4. Are there circumstances unique to the property? **Yes**

Explain: **Yes, the existing structure was built before the Becker County adopted zoning ordinances. The proposed variance will allow for a smaller overall footprint and a reduced footprint within the shore impact zone.**

5. Will the variance maintain the essential character of the locality? **Yes**

Explain: **Yes, the addition of an attached garage will make the property more like other properties in the area.**





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Date: 3/13/2025

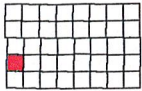
This map is not a substitute for accurate field surveys or for locating actual property lines and any adjacent features.

Becker County



Need Additional Plat Books?

Becker Soil & Water Conservation District • 809 - 8th Street SE • 218-846-7360
 Becker County Auditor/Treasurer's Office • Courthouse, 2nd Floor • 218-846-7311
 Detroit Lakes Sport Shop • 930 Washington Avenue • 218-846-2645
 Chamber of Commerce • 700 Summit Avenue • 218-846-9202

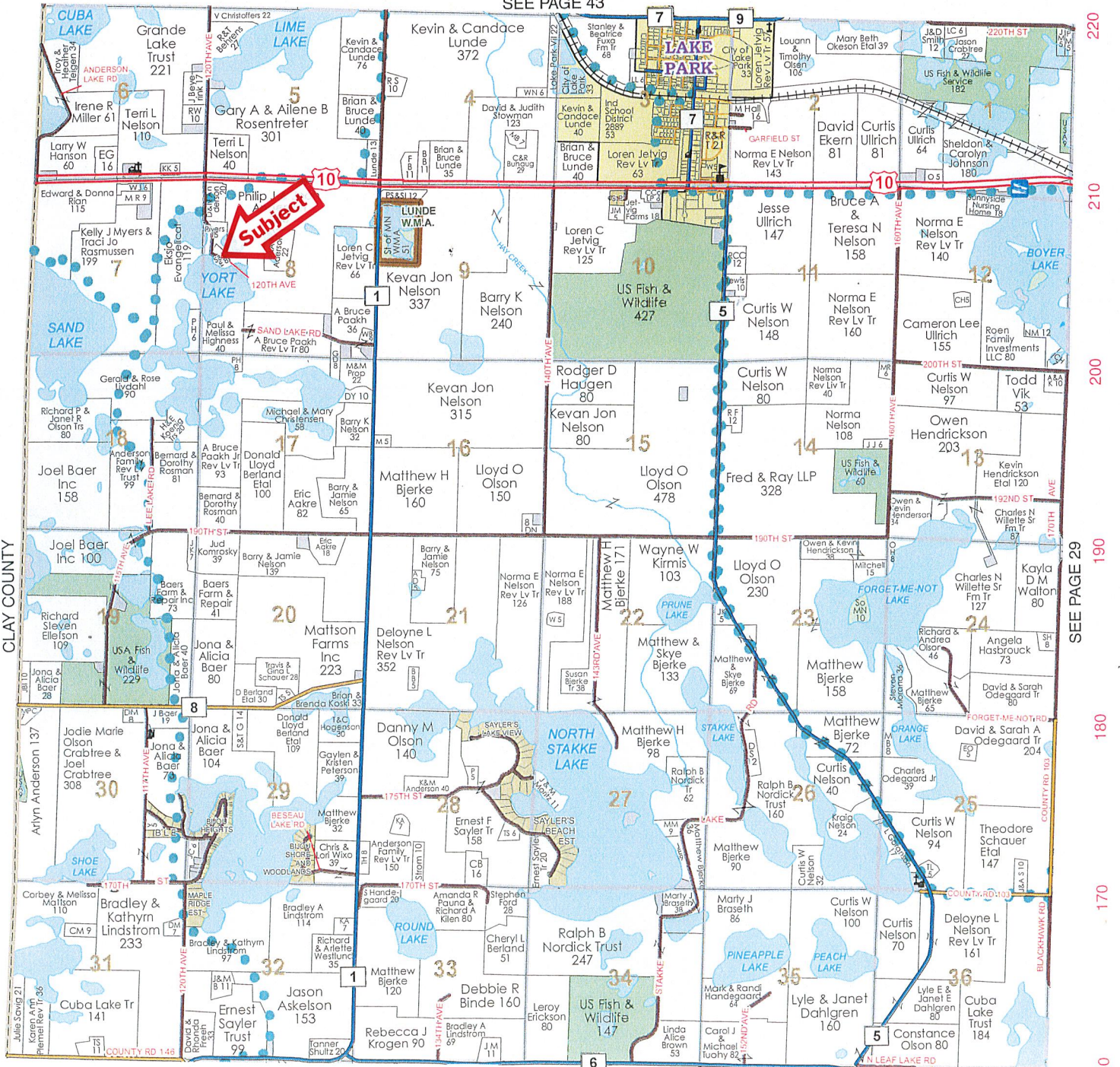


Lake Park

Township 139N - Range 43W

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COUNTY OF BECKER

Planning and Zoning

915 Lake Ave, Detroit Lakes, MN 56501

Phone: 218-846-7314

BOARD OF ADJUSTMENT NOTICE OF PUBLIC HEARING

****HEARING DATE AND LOCATION****

April 10th, 2025 @ 6:00 P.M.

****Commissioner's Room – Becker County Courthouse****

APPLICANT: Brian S Willms & Marie L Willms
25352 Co Hwy 13
Audubon, MN 56511

Project Location: 25352 Co Hwy 13
Audubon, MN 56511

APPLICATION AND DESCRIPTION OF PROJECT: Request a variance to construct non-dwelling related structures for a cannabis cultivation, manufacture, and wholesale facility to be located fifteen (15) feet from the North property line deviating from the required setback stated in Chapter 8, Section 17, Letter B; a.ii. of the Becker County Zoning ordinance due to lot size and setback issues.

LEGAL LAND DESCRIPTION: Tax ID Number: 14.0076.001 **Legal Land Description:** Section 16 Township 140 Range 042, NLY 250' OF ELY 875' OF NE1/4 OF SE1/4, Hamden Township

Replies/Comments: Public testimony regarding this application will only be received by email, in writing, or in-person at the hearing. Interested parties are invited to submit to the Becker County Department of Planning and Zoning written facts, arguments, or objectives by 12:00 P.M. the date of the Hearing. These statements should bear upon the suitability of the location and the adequacy of the Project and should suggest any appropriate changes believed to be desirable.

Replies may be addressed to:

PLANNING AND ZONING DEPARTMENT

**915 Lake Avenue
Detroit Lakes, MN 56501**

EMAIL: susan.rockwell@co.becker.mn.us

To view all application information on this project please visit:

https://www.co.becker.mn.us/government/meetings/planning_zoning/board_adjustments/

If you have questions about the Project, feel free to call 218-846-7314.

Jurisdiction: This Project comes under the Regulatory Jurisdiction of the Becker County Zoning Laws.

Regulatory Authority: this application will be reviewed according to the provisions of the Becker County Zoning Ordinance. The decision whether to issue a permit will be based on an evaluation of the probable impact including cumulative impacts of the proposed activity. That decision will reflect the concern for both protection and utilization of important resources. All factors which may be relevant to the proposal will be considered including the cumulative effects: Land Use, Shoreline Protection, Water Supply and Conservation, Safety, Economics, and in general, the needs and welfare of the people.

Weather conditions may change the hearing date and time. If bad weather occurs, please listen to the local Detroit Lakes Radio Stations, or contact the Zoning Office by 4:30 PM on the day of the hearing for possible rescheduling of the hearing.

Variance Application Review

Permit # 422

Property and Owner Review

Parcel Number(s): 140076001

Owner: Bryan S Willms & Marie L Willms

Township-S/T/R: HAMDEN-16/140/042

Mailing Address:
25352 Co Hwy 13 Audubon, MN 56511

Site Address: 25352 Co Hwy 13 Audubon, MN 56511

Lot Recording Date: After 1992

Original Permit Nbr: NA

Legal Descr: NLY 250' OF ELY 875' OF NE1/4 OF SE1/4

Variance Details Review

Variance Request Reason(s):

- Setback Issues
- Alteration to non-conforming structure
- Lot size not in compliance
- Topographical Issues (slopes, bluffs, wetlands)
- Other

If 'Other', description:

Lot is not wide enough to meet the required setbacks of the new cannabis ordinance.

Description of Variance Request: **Request a variance to construct non-dwelling related structures for a cannabis cultivation, manufacture, and wholesale facility to be located fifteen (15) feet from the North property line deviating from the required setback stated in Chapter 8, Section 17, Letter B; a.ii. of the Becker County Zoning ordinance due to lot size and setback issues.**

OHW Setback:

Side Lot Line Setback: 15

Rear Setback (non-lake):

Bluff Setback:

Road Setback:

Road Type:

Existing Imp. Surface Coverage: 1.4%

Proposed Imp. Surface Coverage: 2.3%

Existing Structure Sq Ft:

Proposed Structure Sq Ft: **60'x70' Fenced area 30'x40' Hoop House (Main cultivation area) 08'x32' Storage Trailer (Converted worksite trailer) 20'x30' Pole building (Work areas & Storage) 06'x12' Polycarbonate Greenhouse**

Existing Structure Height:

Proposed Structure Height:

Existing Basement Sq Ft:

Proposed Basement Sq Ft:

Change to roofline?

Change to main structural framework?

Other Questions Review

1. Is the variance in harmony with the purposes and intent of the ordinance? **Yes**

Explain: **Because of the large restriction on setbacks for cannabis businesses there is no way for us to meet the required setback due to lot width. We meet all other required setbacks as well as being low on impervious coverage.**

2. Is the Variance consistent with the Becker County Comprehensive Plan? **Yes**

Explain: **A regular structure setback would be ten (10) feet. We are asking to be further away than that from the property line. We are asking for the variance on the property line that borders state land as it is highly unlikely it will be used for residential purposes any time in the near future.**

3. Does the proposal put the property to use in a reasonable manner? **Yes**

Explain: **This variance will allow us to conduct our business on our property. By moving the structures closer to the North property line, it will increase the distance between the business and other neighbors in that area.**

4. Are there circumstances unique to the property? **Yes**

Explain: **The property is only two hundred and fifty (250) feet wide. The way the ordinance is currently written, we cannot meet that setback by moving the structures anywhere on the property.**

5. Will the variance maintain the essential character of the locality? **Yes**

Explain: **This is an agricultural type business, and we are surrounded by farm and state land. This should not have any negative affect on surrounding properties.**

Begside Growers LLC
Parcel Map
25352 CO Hwy 13
Audubon
3/19/24



 Residence

 Proposed Facility

 Septic

 Acre setback

 Property Lines

 Propane

 Fiber

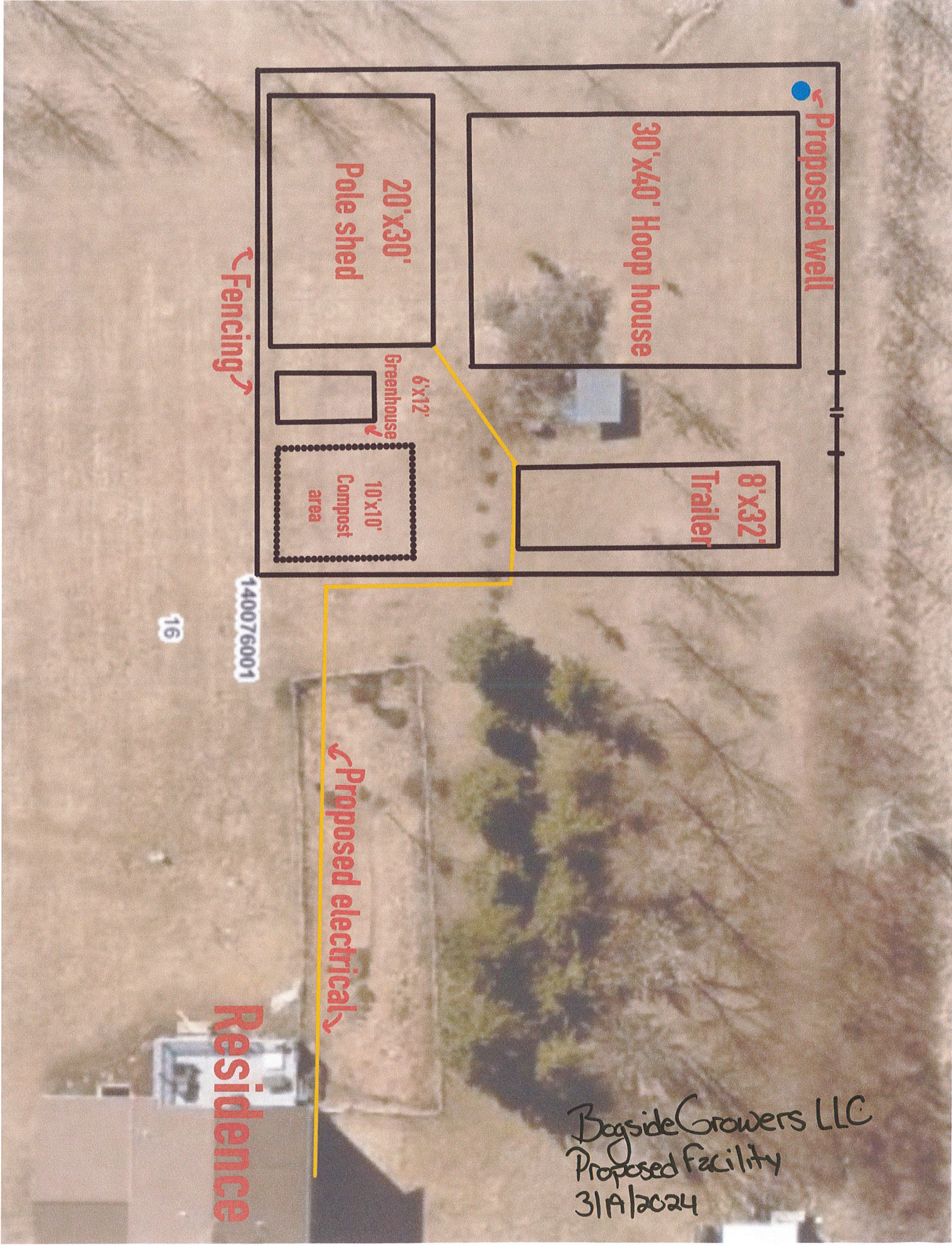
140076002

140074000

13

15

19



Proposed well

30'x40' Hoop house

20'x30' Pole shed

6'x12' Greenhouse

10'x10' Compost area

8'x32' Trailer

Fencing

Proposed electrical

Residence

140076001

16

Bogside Growers LLC
Proposed Facility
31A/2024



These data are provided on an "AS-IS" basis, without warranty of any type, expressed or implied, including but not limited to any warranty as to their performance, merchantability, or fitness for any particular purpose.

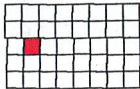
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Date: 3/20/2025

Becker County



This map is not a substitute for accurate field surveys or for locating actual property lines and any adjacent features.



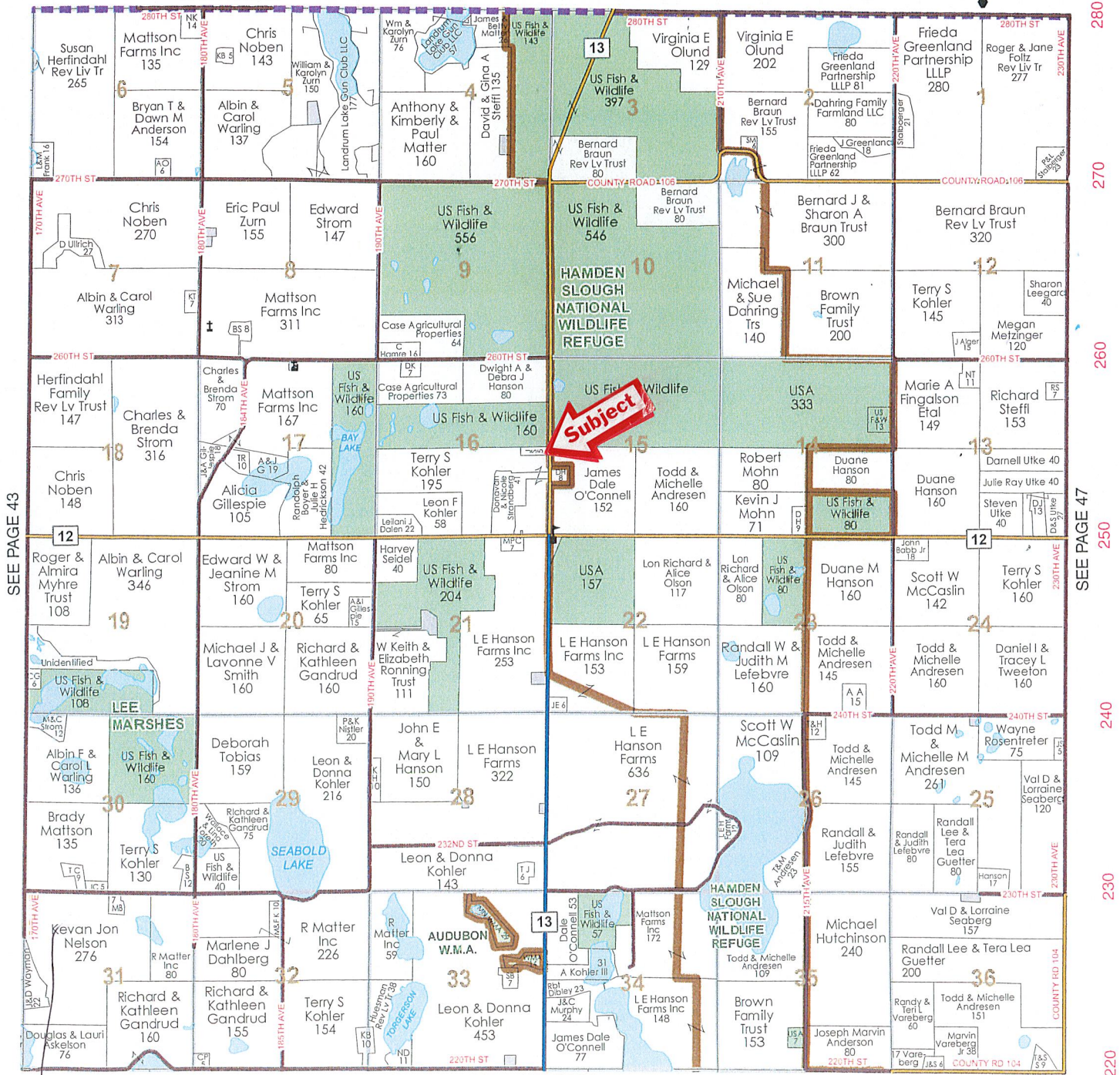
Hamden

Township 140N - Range 42W

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